

PLANNING COMMITTEE - WEDNESDAY, 11 NOVEMBER 2020

UPDATES FOR COMMITTEE

- 5. PRESENTATION ON PLANNING APPLICATIONS (Pages 3 - 168)**
- 6. COMMITTEE UPDATES (Pages 169 - 172)**

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Planning Committee

November 2020

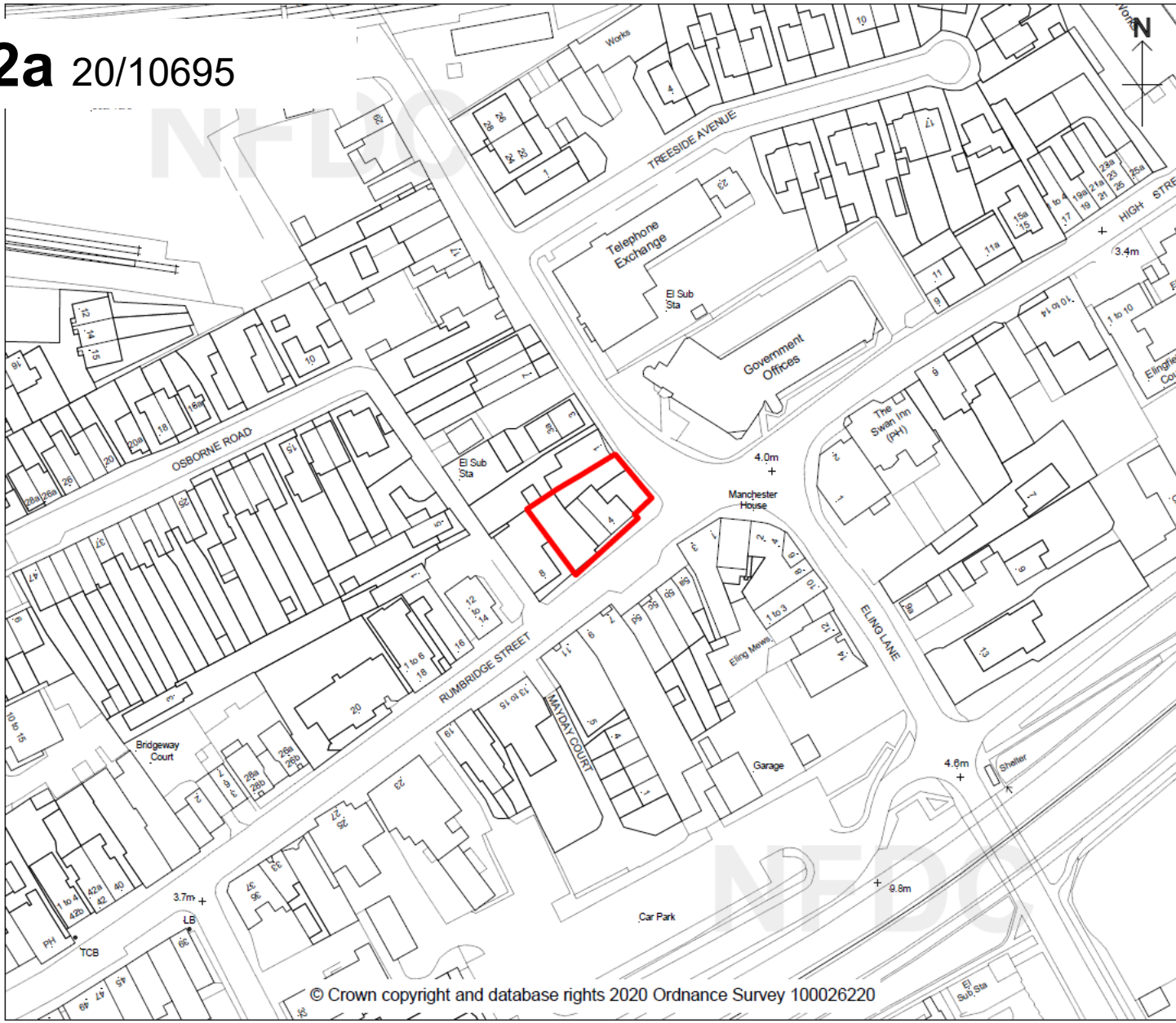
4-6 RUMBRIDGE STREET,
TOTTON SO40 9DP

4

Schedule 2a

App No 20/10695

2a 20/10695



New Forest
DISTRICT COUNCIL

Tel: 023 8028 5000
www.newforest.gov.uk

Claire Upton-Brown
Chief Planning Officer
Planning
New Forest District Council
Appletree Court
Lyndhurst
SO43 7PA

PLANNING COMMITTEE

October 2020

Item No:
4-6 Rumbridge Street
Totton, SO40 9DP

20/10695

Scale 1:1250
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2a 20/10695



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20/10695

Scale 1:1250

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2a 20/10695



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 3. All dimensions must be checked on site by the contractor prior to commencement of the works.

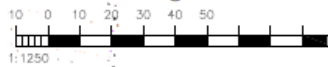
Client Approval

A - Approved
 B - Approved with comments
 C - Do not use

Rev.	Revision Note/Purpose of Issue	Drawn By	Date	Chk By	Date
001	Planning Issue	JL	12.06.2020	HG	12.06.2020



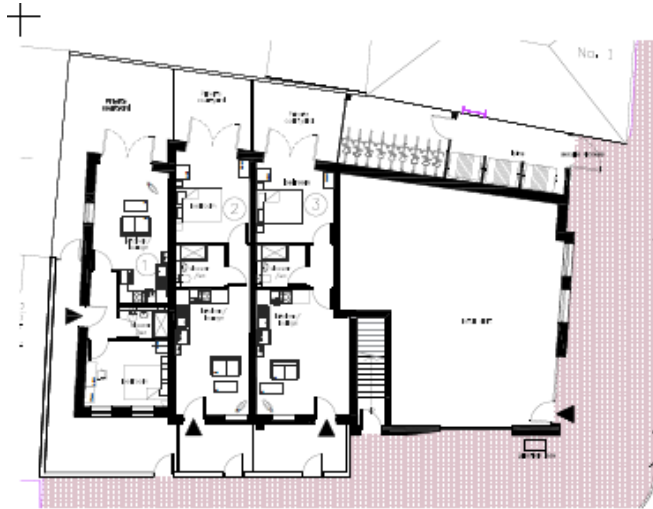
Location Plan 1:1250 @ A3



Site Plan 1:200 @ A3



2a 20/10695

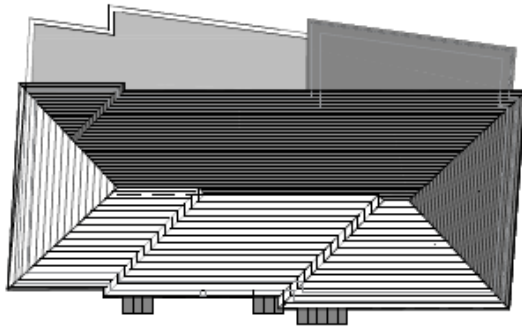


Ground floor plan



First floor plan

∞



Roof plan

2a 20/10695



6 Rumbridge Street elevation / south



Junction Road elevation / east



North elevation



West elevation

X
X
X
Re
PC
PC
PC
PC

2a 20/10695



Rumbridge Street view



Junction Road view



Aerial view



Aerial view



Aerial view

Drawing title

10

2a 20/10695



11



2a 20/10695

2017 refusal



2018 refusal
12



Current
application



2a 20/10695

13



2a 20/10695

14



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15



2a 20/10695

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2a 20/10695

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Planning Committee

November 2020

18

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LAND AT MERLIN, LYMINGTON ROAD,
MILFORD-ON-SEA SO41 0QR

Schedule 2b

App No 19/11439

2b 19/11439



New Forest DISTRICT COUNCIL

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Claire Upton-Brown
Chief Planning Officer
Planning
New Forest District Council
Appletree Court
Lyndhurst
SO43 7PA

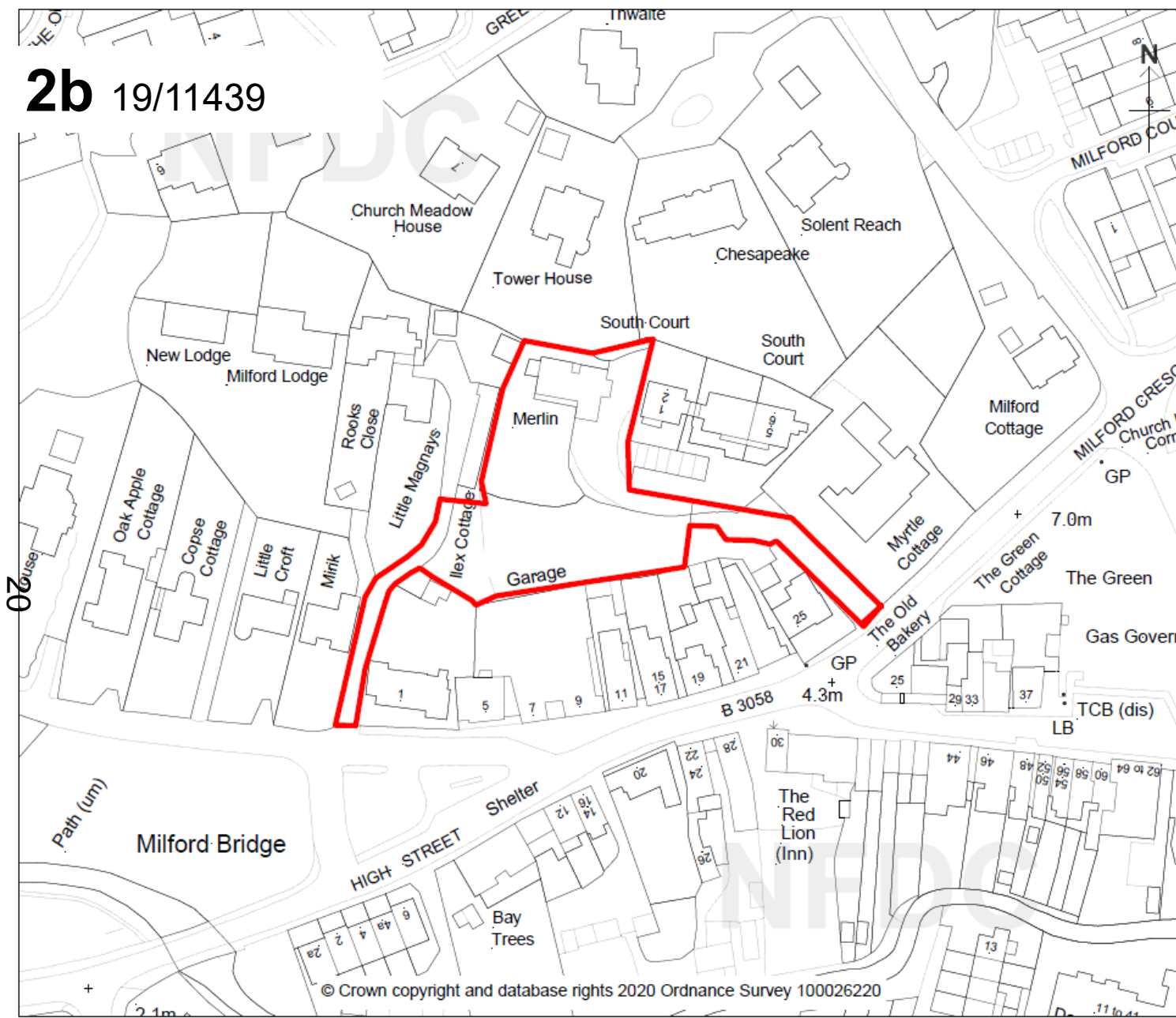
PLANNING COMMITTEE

Land at Merlin, Lymington Road
Milford On Sea
SO41 0QR

19/11439

Scale 1:1250

N.B. If printing this plan from the internet, it will not be to scale.



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2b 19/11439



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Claire Upton-Brown
Chief Planning Officer
Planning
New Forest District Council
Appletree Court
Lyndhurst
SO43 7PA

PLANNING COMMITTEE

October 2020

Item No:

Land at Merlin,
Lymington Road
Milford on Sea SO41 0QR
19/11439

Scale 1:1250

N.B. If printing this plan from
the internet, it will not be to
scale.

2b 19/11439

DASHED LINE SHOWS POSITION OF EXISTING HOUSE NORTH

SECTION A

SLICK
COTTAGE
BRICK BUILDING
ROSE LEVEL 180.8
CAVES LEVEL 180.82
CONSERVATORY
ROSE LEVEL 181.22
CAVES LEVEL 180.82

UNIT 4
ROSE LEVEL 181.65
CAVES LEVEL 181.78

Shared Access
to unit 4

GARAGE

SECTION A

HARRIS LANE

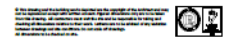
SITE PLAN 1:250



LOCATION PLAN 1:1250

22

2b 19/11439



- KEY**
- Existing trees & shrubs unsurveyed
 - Existing trees, surveyed, with ref where given on TPO : G1
 - Existing tree to be felled
 - New specimen tree planting to LA approval
 - New hedge & shrub planting
 - Gravel Dressed tarmac with 'stone' type kerb
 - Brick block paving with 'stone' type kerb
 - Site Boundary
 - Existing Buildings
 - Plot Boundary

Rev	Date	Comments	Drawn
0	14/07/18	Planning scheme reserved	DM
1	06/07/18	Red Line and Location Plan updated	DM
2	10/07/18	Amend from Architectural Plans	DM
3	20/07/18	Amend from Planning Consultation	DM

STATUS Planning App.

Drawn by: M. H. H. / Drawn Date: 14/07/18 / Scale: 1:1250 / Location: 19/11439 / Project: 19/11439 / Project Name: Land At Land At Merlin, Lymington Road, Milford-On-Sea, Lymington, SO41 0QR

Lathams
Architecture
Conservation
Urbanism
Landscape

PROJECT
Land At Land At Merlin, Lymington Road, Milford-On-Sea, Lymington, SO41 0QR

CLIENT
The David Seldrick Wildlife Trust (UK)
HT and The Brooke.

TITLE
Proposed Site Plan

NOVA 1:250, 1:500 & 1:1250 DATE: May 2018

STATUS: DM CHECKED: DM

PROJECT NO.	DWG NO.	REV NO.	DWG SIZE
7165	(08) 01	C	A1

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SITE PLAN 1:250



EXISTING SECTION A-A 1:500

Section Extended to show Tower House

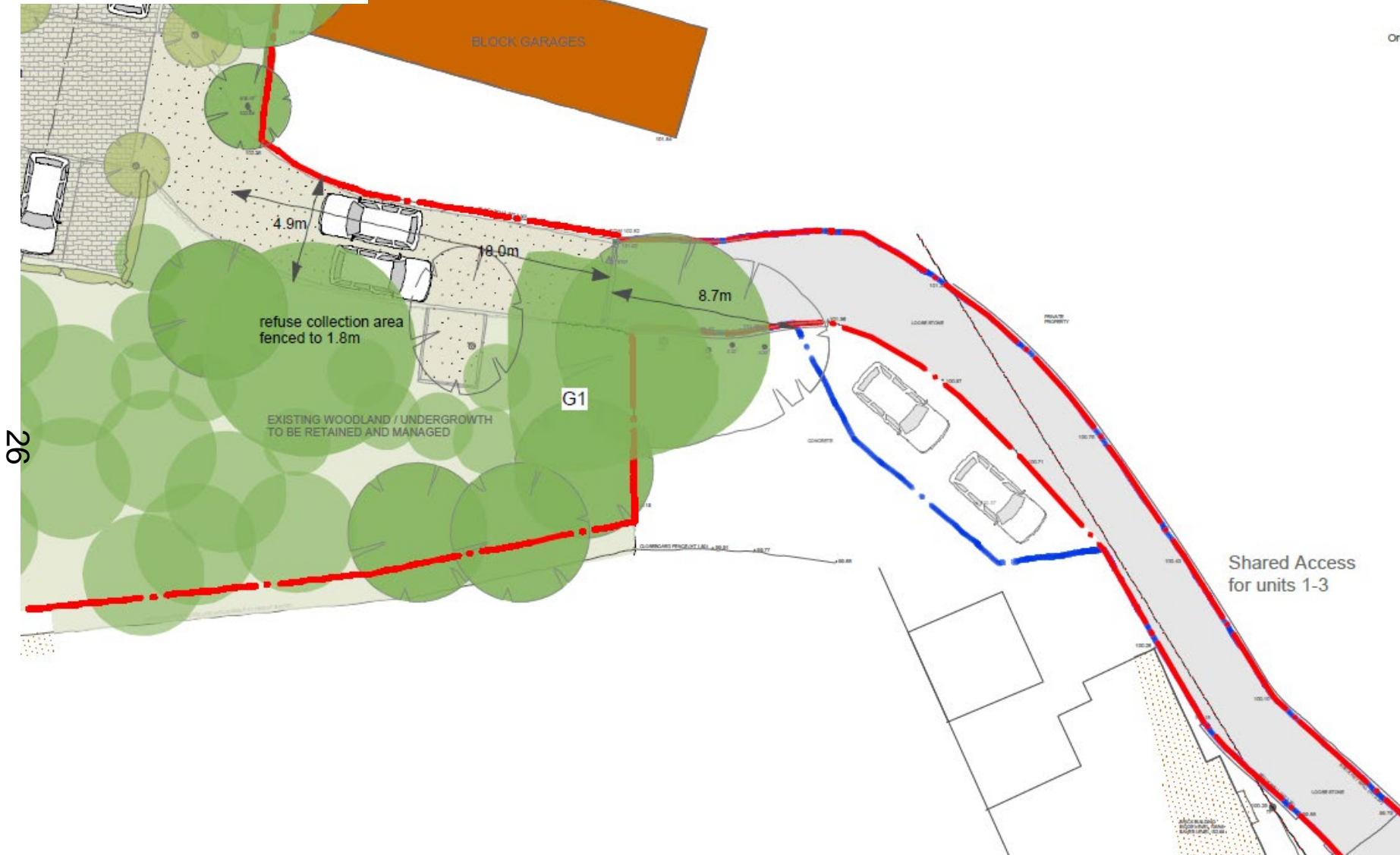


PROPOSED SECTION A-A 1:500

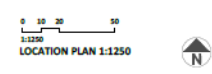
2b 19/11439



2b 19/11439



26



KEY

- Existing trees & shrubs unsurveyed
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- Plot Boundary

Rev	Date	Comments	Drawn
0	14/07/18	Planning scheme reserved	DA
1	06/07/18	Red Line and Location Plan updated	DA
2	10/07/18	Amend from Architectural Line	DA
3	20/07/18	Amend from Planning consultation	DA

STATUS **Planning App.**

David W. Latham, Queen Street, Dorset, UK
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 Architecture
 Conservation
 Urbanism
 Landscape

Lathams

PROJECT
 Land At Land At Merlin, Lymington Road,
 Milford-On-Sea, Lymington, SO41 0QR

CLIENT
 The David Seldrick Wildlife Trust (UK)
 HT and The Brooke.

TITLE
 Proposed Site Plan

NCHD 1:250, 1:500 & 1:1250 DATE May 2018

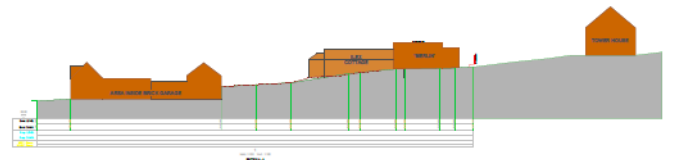
DRAWN DAH CHECKED DAH

PROJECT NO.	DWG NO.	REV NO.	DWG SIZE
7165	(08) 01	C	A1

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SITE PLAN 1:250

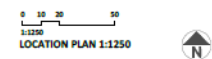


EXISTING SECTION A-A 1:500

Section Extended to show Tower House



PROPOSED SECTION A-A 1:500



KEY

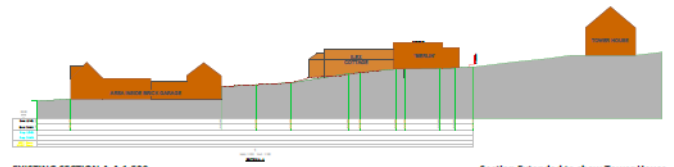
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- Plot Boundary

Rev	Date	Comments	Drawn
0	14/07/18	Planning scheme reserved	SR
1	04/07/18	Final Scheme and Location Plan updated	SR
2	13/07/18	Amend from Architectural team	SR
3	20/07/18	Amend from Planning consultation	SR

STATUS Planning App.

Lathams
Architecture
Conservation
Urbanism
Landscape

SITE PLAN 1:250



EXISTING SECTION A-A 1:500 Section Extended to show Tower House



PROPOSED SECTION A-A 1:500

2b 19/11439



SOUTH ELEVATION



NORTH ELEVATION

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MATERIALS LEGEND:

ROOF: 40° pitch plain clay blue tiles, with lead flat to central area
 WALLS: Brick with tile hanging to first floor and south gables.
 WINDOWS: White painted timber
 RAIN WATER GOODS: Black cast aluminium

UNIT TYPE
AREA SCHEDULE - GIA

GF = 67 m² - 721 ft²
 FF = 67 m² - 721 ft²
 Total = 134 m² - 1442 ft²
 3/4 Bedroom
 3No. TOTAL = 402m² - 4326 ft²

29



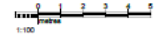
GROUND FLOOR



EAST ELEVATION



WEST ELEVATION



FIRST FLOOR



ROOF PLAN

A. SYMBOLS	Search From Naming Conventions	OK
Rev. Desc.	Comments	Drawn

STATUS **Planning Consultation.**

London 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

PROJECT

Land At Land At Merlin, Lymington Road, Milford-On-Sea, Lymington, SO41 0QR

CLIENT
 The David Sheldrick Wildlife Trust (UK)
 HT and The Brooke.

TITLE
 Houses 1-3

SCALE	1:100	DATE	June 2018
DRAWN	SH	CHECKED	SH

PROJECT NO.	DWG NO.	REV. NO.	DWG SIZE
7165	(08) 02	A.	A1

Lathams

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2b 19/11439



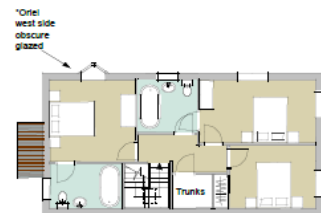
NORTH ELEVATION



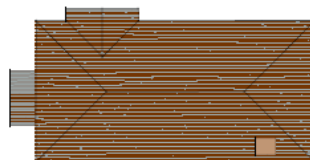
SOUTH ELEVATION



WEST ELEVATION



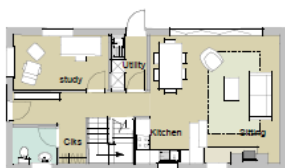
FIRST FLOOR



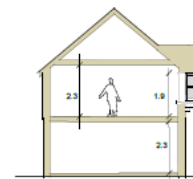
ROOF



EAST ELEVATION



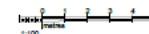
GROUND FLOOR



SECTION
Showing low eaves & first floor window heads, oriel condition and raised upper ceiling

MATERIALS LEGEND:

- ROOF: 40° pitch plain clay blue tiles
- WALLS: Brick with the hanging to first floor
- WINDOWS: White painted timber
- RAIN WATER GOODS: Black cast aluminium



A. REVISION	Revised from Planning consultation	01
Date	Comments	Drawn

STATUS Planning Consultation.

Andy N. Wilson, Chartered Surveyor, MRICS
 4, Mill Lane, Lymington, Hampshire, SO41 0JG
 Tel: 01534 831111
 www.andynwilson.co.uk
Lathams
 Architecture
 Conservation
 Urbanism
 Landscape

PROJECT
 Land At Land At Merlin, Lymington Road, Milford-On-Sea, Lymington, SO41 0QR

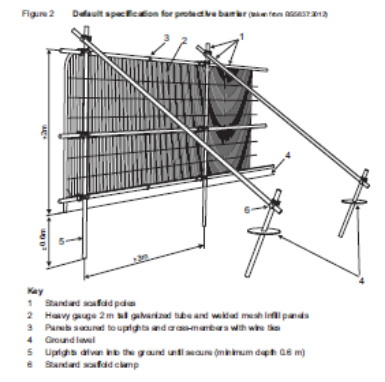
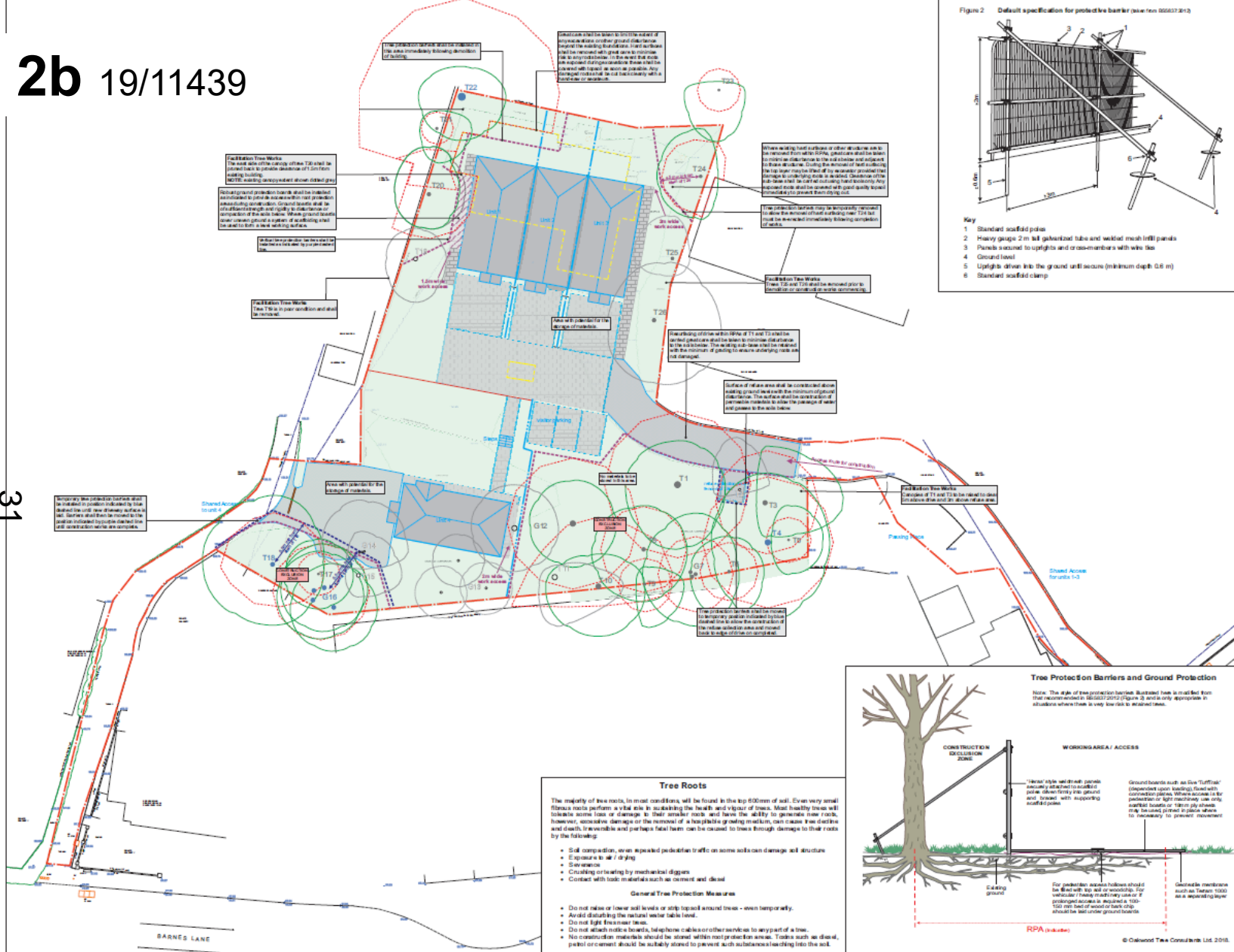
CLIENT
 The David Sheldrick Wildlife Trust (UK) HT and The Brooke.

TITLE
 House 4

SCALE	1:100	DATE	June 2018
DRAWN	SH	CHECKED	SH
PROJECT NO.	7165	DWG NO.	(08) 03
REV NO.	A.	DWG SIZE	A1

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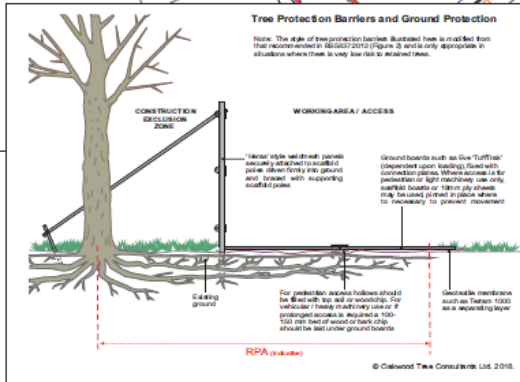


Key

- Tree to be retained, colour coded according to BS5837 quality assessment criteria (see Table 1)
- Root protection area, derived from criteria within BS5837, if existing shown where considered appropriate
- Tree to be removed
- Structures to be demolished
- Footprint of proposed buildings
- Proposed driveway
- Proposed parking / paved areas
- Proposed landscaped areas
- Position of protective barriers
- Distance between protective barriers and tree stems or other features
- Areas where ground protection is required
- Construction access route
- Areas of particular concern related to Arthropod/Microbial Statements

Notes

- BS5837 Tree Categorisation (see BS5837:2012, Table 1)
- Category U3: Trees in such a condition that they cannot realistically be retained as living trees in the context of the current land use for longer than 10 years
- Category A: Trees of high quality with an estimated life expectancy of at least 40 years
- Category B: Trees of moderate quality with an estimated life expectancy of at least 20 years
- Category C: Trees of low quality with an estimated life expectancy of at least 10 years, or young trees with a stem diameter below 150mm.



Tree Roots

The majority of tree roots, in most conditions, will be found in the top 100mm of soil. Even very small fibrous roots perform a vital role in maintaining the health and vigour of trees. Most healthy trees will tolerate some loss of damage to their smaller roots, but have the ability to generate new roots. However, excessive damage or the removal of a large part of a tree's root system, can cause tree decline and death. Irreversible and perhaps fatal harm can be caused to trees through damage to their roots by the following:

- Soil compaction, even repeated pedestrian traffic on some soils can damage soil structure
- Exposure to air / drying
- Severance
- Contact with heavy machinery
- Contact with toxic materials such as cement and diesel

General Tree Protection Measures

- Do not raise or lower soil levels or strip topsoil around trees - even temporarily.
- Avoid disturbing the natural water table level.
- Do not dig tree root zones.
- Do not attach ropes, chains, telephone cables or other services to any part of a tree.
- No construction materials should be stored within root protection areas. Tools such as diesel, petrol or cement should be securely stored to prevent such substances leaking into the soil.

Land at Merlin
Lymington Road
Millford on Sea
The
Tree Protection Plan

Please check all dimensions on site as a condition of any construction. This drawing is an indication only and not to be used as a final construction drawing.

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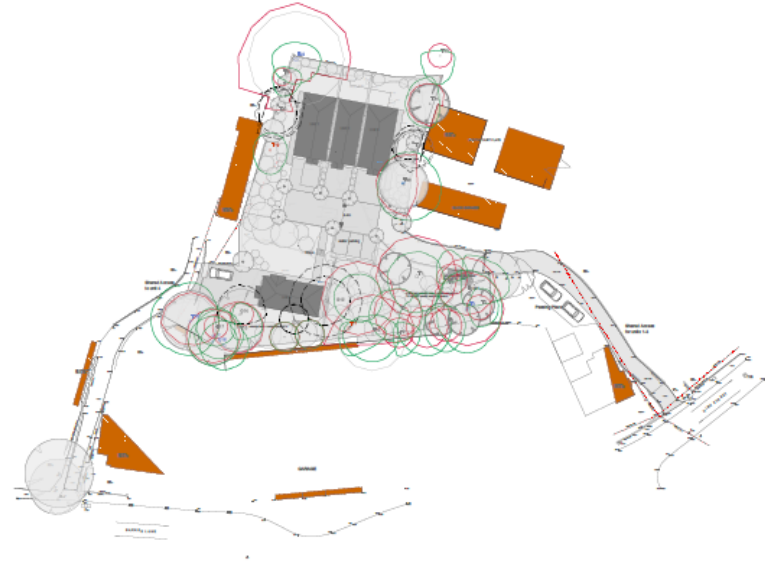
Scale: 1:200 @ A1
 0m 2m 4m 6m 8m 10m

Drawn By: NRS
 Checked By: NRS
 Date: July 2018
 Drawn by: NRS

OAKWOOD
 TREE CONSULTANTS



Oakwood Tree Consultants Ltd 10 Kings Road
 3 Causton Gardens, Worthing BN11 1AA
 West Sussex BN14 9DX W www.oakwoodtree.com

2b 19/11439




32

**As Existing
Tree Survey and Constraints Plan**
abstracted from dwg :1611/59/TCP
Oakwood Tree Consultants Ltd

-  Surveyed tree (T prefix) or tree group ref. full drawing for full detail ,condition etc
-  Root protection area, derived from guidance within Bs5837.

**As Proposed
Tree Survey and Constraints Plan**

-  Surveyed tree & RPA to be removed as part of proposed development
Specifically the removal of T12, T13, T14, T20 & T25

A 110418 Amended Site Plan

STATUS **Planning App.**

Latham & Partners
 100 High Street
 Lymington, Hampshire, SO41 0QR
 Tel: 01329 841111
 Email: info@latham.co.uk
 www.latham.co.uk
 Architecture
 Conservation
 Urbanism
 Landscape

Lathams

PROJECT
Land At Land At Merlin, Lymington Road,
Milford-On-Sea, Lymington, SO41 0QR

CLIENT
The David Sheldrick Wildlife Trust (UK)
HFT and The Brooke.

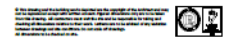
TITLE
Tree survey and proposed impact

SCALE 1:500 DATE June 2018

PROJECT NO.	DWG NO.	REV NO.	DWG SIZE
7165	(08) 04	A	A1

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2b 19/11439



- KEY**
- Existing trees & shrubs unsurveyed
 - Existing trees, surveyed, with ref where given on TPO : G1
 - Existing tree to be felled
 - New specimen tree planting to LA approval
 - New hedge & shrub planting
 - Gravel Dressed tarmac with 'stone' type kerb
 - Brick block paving with 'stone' type kerb
 - Site Boundary
 - Existing Buildings
 - Plot Boundary

Rev	Date	Comments	Drawn
0	14/07/18	Planning scheme reserved	SM
1	06/07/18	Red Line and Location Plan updated	SM
2	13/07/18	Amend from Architectural Plans	SM
3	20/07/18	Amend from Planning Consultation	SM

STATUS **Planning App.**

David W. Latham, Queen Street, Dorset, UK
 London W1G 9LW
 Tel: +44 (0)20 7464 4470
 www.davidlatham.co.uk
 david.latham@latham.co.uk

Latham's

Architecture
 Conservation
 Urbanism
 Landscape

PROJECT
Land At Land At Merlin, Lymington Road, Milford-On-Sea, Lymington, SO41 0QR

CLIENT
**The David Sheidrick Wildlife Trust (UK)
 HT and The Brooke.**

TITLE
Proposed Site Plan

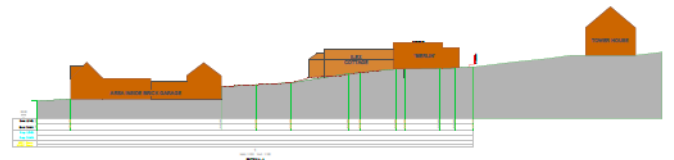
NCHD 1:250, 1:500 & 1:1250 DATE May 2018
 DRAWN: SM CHECKED: SM

PROJECT NO.	DWG NO.	REV NO.	DWG SIZE
7165	(08) 01	C	A1

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SITE PLAN 1:250



EXISTING SECTION A-A 1:500

Section Extended to show Tower House



PROPOSED SECTION A-A 1:500



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DASHED LINE SHOWS POSITION OF EXISTING HOUSE NORTH

SECTION A

SLICK COTTAGE
 BRICK BUILDING
 FLOOR LEVEL: 100.00
 GAVES LEVEL: 100.00
 CONSERVATORY
 FLOOR LEVEL: 101.22
 GAVES LEVEL: 100.00

UNIT 4
 FLOOR LEVEL: 101.00
 GAVES LEVEL: 100.70



LOCATION PLAN 1:1250

SITE PLAN 1:250

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2b 19/11439

41



2b 19/11439

42



2b 19/11439



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2b 19/11439

44



2b 19/11439



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Planning Committee

November 2020

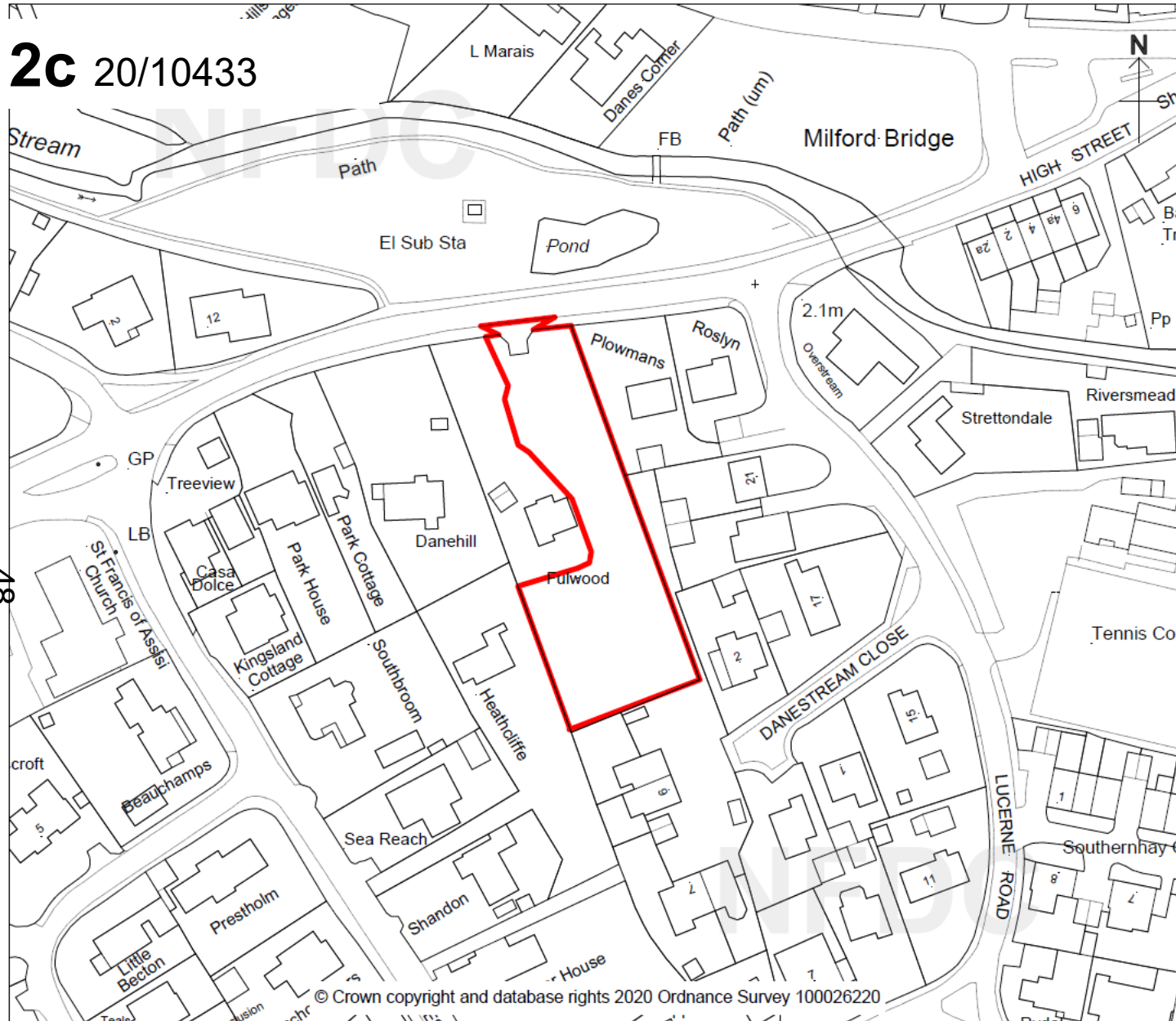
FULWOOD, PARK LANE, MILFORD-ON-SEA
SO41 0PN

47

Schedule 2c

App No 20/10433

2c 20/10433



New Forest
DISTRICT COUNCIL

Tel: 023 8028 5000
www.newforest.gov.uk

Claire Upton-Brown
Chief Planning Officer
Planning
New Forest District Council
Appletree Court
Lyndhurst
SO43 7PA

PLANNING COMMITTEE

October 2020

Item No:

Fulwood, Park Lane
Milford on Sea
SO41 0PN
20/10433

Scale 1:1250

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New Forest
DISTRICT COUNCIL

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www.newforest.gov.uk

Claire Upton-Brown
Chief Planning Officer
Planning
New Forest District Council
Appletree Court
Lyndhurst
SO43 7PA

PLANNING COMMITTEE

October 2020

Item No:
Fulwood, Park Lane
Milford on Sea
SO41 0PN
20/10433

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2c 20/10433



Approved layout



Proposed layout

Approved elevations



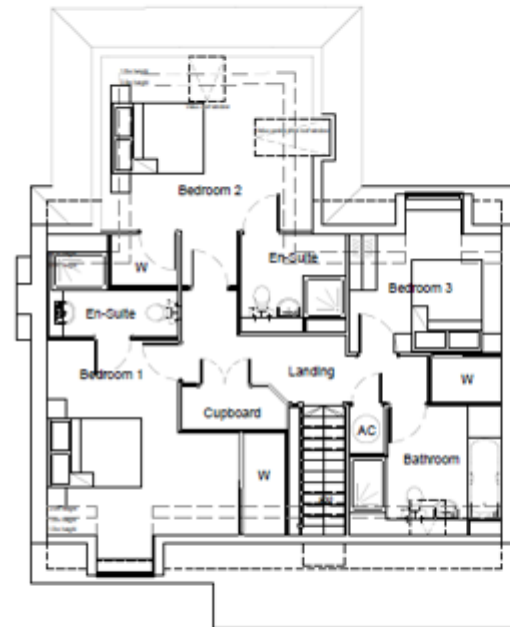
Proposed elevations

2c 20/10433

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Ground Floor Plan



First Floor Plan

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REV	DESCRIPTION	DATE	AUTH	CHK'D
4	Issued for Planning	14/05/19	UP	
	in Progress	10/05/19	PH	
	Plot in Progress plan updated in line with client situation.	05/05/19	UP	
	HT in circulation but still unapproved detail. (17/05/19)	17/05/19	UP	
	Client issued for Planning (Client's amendments)	04/10/19	UP	
	Ground level floor level amended in line with 13/06/20 client amendments.	13/06/20	CL	
	Issued for Planning	23/06/20	CL	
	Issued for Planning	07/10/20	CL	



PLANNING



Building 300, The Grange, Romsey Road, Michelmersh, SO51 6AF
 T: 01794 367702 F: 01794 367236 www.thrivearchitects.co.uk

PROJECT
 Fulwood Park Lane
 Milford
 For: Andrew Hicks & Associates LTD

DRAWING
 Plot 1
 Floor Plans

SCALE	DATE	AUTHOR	CHK'D
1:100	May 2019	PZ	MAP
JOB NO.	DRAWING NO.	REV	
ANDR180841	P1.p	D	

CLIENT REF.

House type	Plot 1	Variation	Option
Bedrooms	4	Forensic	7
Site Area	2151	Site Area	185.24



Approved elevations



Proposed elevations

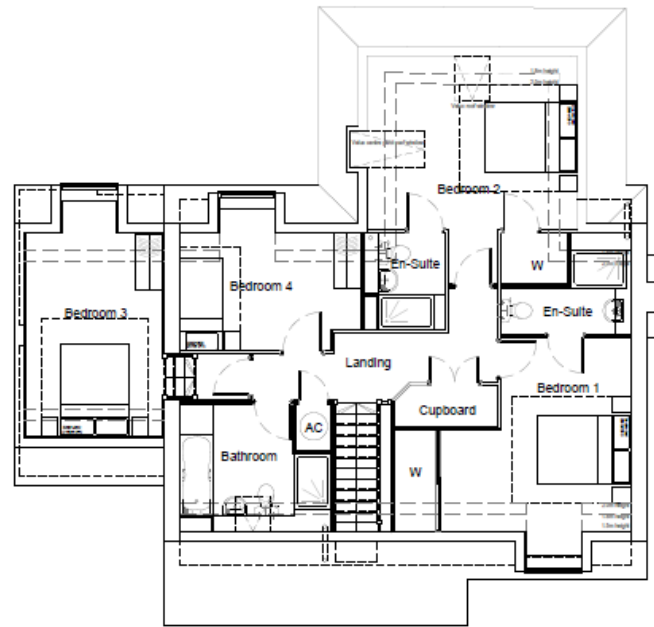
2c 20/10433

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 Where applicable this drawing is to be read in conjunction with the Consultants' drawings.

REV	DESCRIPTION	DATE	AUTH	CHK'D
A	Issued for Planning	14/05/19	MP	
	Work in Progress plan available in Gov.uk details situation. HT is included in Gov.uk approved details.	20/03/19	MP	
	Structural and Planning Officer's comments.	24/03/19	MP	
B	Details available for Planning	04/10/19	MP	
	Plan plan available in Gov.uk approved details.	21/08/00	CL	
C	Issued for Planning	23/08/00	CL	
D	Issued for Planning	07/10/00	CL	



Ground Floor Plan



First Floor Plan



PLANNING



architects
 Romsey Office

Building 300, The Grange, Romsey Road, Michelmersh, SO51 0AE
 t: 01794 367703 f: 01794 367276 www.thrivearchitects.co.uk

PROJECT
Fulwood Park Lane
 Milford
 For: Andrew Hicks & Associates LTD

DRAWING
Plot 2
Floor Plans

SCALE	DATE	AUTHOR	CHK'D
1:100 @ A3	May 2019	PZ	MAP
JOB NO.	DRAWING NO.	REV	
ANDR180841	P2.p	D	
CLIENT REF.			

House type	Plot 2	Variation	Option
Bedrooms	3	Permitted	5
Sq. ft	1994	Sq. m	199.84

2c 20/10433



Datum 0.00m
Section C-C
 scale: 1:200

The proposed levels are shown indicative
 subject to Civil Engineers review/input.

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 Consultancy drawings.

REV	DESCRIPTION	DATE	AUTH	CHKD
A	Issued for Planning	14/06/19	HP	-
	Updated to conform with revised HTS 24/06/19 at 11 level.		HP	-
B	Minor updates to Planning	06/10/19	HP	-
C	Plot 2 FFL, revised by 17/06/19	06/10/19	HK	-
	Sections amended to line with revised site layout and plot type	27/06/20	DL	-
D	Issued for Planning	28/06/20	CL	-
	Issued for comments	06/10/20	CL	-
E	Final drawings amended to update site/19/20 level. Issued for Planning		CL	-



Datum 0.00m
Section B-B.
 scale 1:200

The proposed levels are shown indicative
 subject to Civil Engineers review/input.



Datum 0.00m
Section A-A
 scale 1:200

The proposed levels are shown indicative
 subject to Civil Engineers review/input.



PLANNING



Romsay Office
 Building 380, The Grange, Romsay Road, Pichelemarsh, SO31 5AC
 T: 01794 567703 F: 01794 567276 www.thrivearchitects.co.uk

PROJECT
 Fullwood, Park lane
 Milford
 for: Andrew Hicks & Associates Ltd

DRAWING
 Street Scene / Sections

SCALE	DATE	AUTHOR	CHKD
1:200 @ A2	June 19	FK	
JOB NO.	CREATING NO.	REV	
ANDR180941	SE.01	E	

CLIENT REF.





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2c 20/10433

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2c 20/10433

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Front Elevation



Side Elevation



Rear Elevation




Side Elevation

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REV	DESCRIPTION	DATE	AUTH	CHKD
A	Issued for Planning	14/01/19	MP	
	In Progress	14/01/19	FK	
	HT is included in the self-prepared sketch elevations and Planning Officer's comments.	23/03/19	MP	
B	Status updated to Planning	04/10/19	MP	
	Elevation updated in line with payment schedule	24/06/20	CL	
C	Issued for Planning	23/06/20	CL	
D	Elevation amended to match site layout. Issued for Planning	05/10/20	CL	



PLANNING



thrive.
architects
Ramsey Office

Building 300, The Grange, Ramsey Road, Michelmarsh, SO51 0AE
 t: 01794 267702 f: 01794 267276 www.thrivearchitects.co.uk

PROJECT
 Fulwood Park Lane
 Milford
 For: Andrew Hicks & Associates LTD

DRAWING
 Plot 1
 Elevations

SCALE	DATE	AUTHOR	CHKD
1:100 @ A3	May 2019	PZ	MAP

JOB NO.	DRAWING NO.	REV
ANDR180841	P1.e	D

CLIENT REF:

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Front Elevation



Side Elevation



Rear Elevation



Side Elevation

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REV	DESCRIPTION	DATE	AUTH	CHK'D
A	Issued for Planning	14/08/19	MP	
	In Progress	16/08/19	FK	
	IT is issued in line with proposed planning conditions and Planning Officer's comments. (Date submitted to Planning)	24/08/19	MP	
B	Conditions approved in line with developer's proposals.	24/10/19	MP	
	Conditions approved in line with developer's proposals.	27/08/20	CL	
C	Issued for Planning	20/08/20	CL	
	Issued for comments	08/10/20	CL	
E	Conditions approved to updated site layout (27/10/20) issued for Planning.		CL	



PLANNING



thrive.
architects

Romsey Office

Building 305, The Grange, Romsey Road, Michelmarsh, SO51 5AG
t: 01794 367703 f: 01794 367276 www.thrivearchitects.co.uk

PROJECT

Fulwood Park Lane

Millford

For: Andrew Hicks & Associates LTD

DRAWING

Plot 2

Elevations

SCALE	DATE	AUTHOR	CHK'D
1:100 @ A3	May 2019	PZ	MAP

JOB NO.	DRAWING NO.	REV
ANDR180841	P2.e	D

CLIENT REF.

Planning Committee

November 2020

ESSO SPORT & RECREATION CLUB, 179-
181 LONG LANE, HOLBURY, FAWLEY SO45

8 2PA

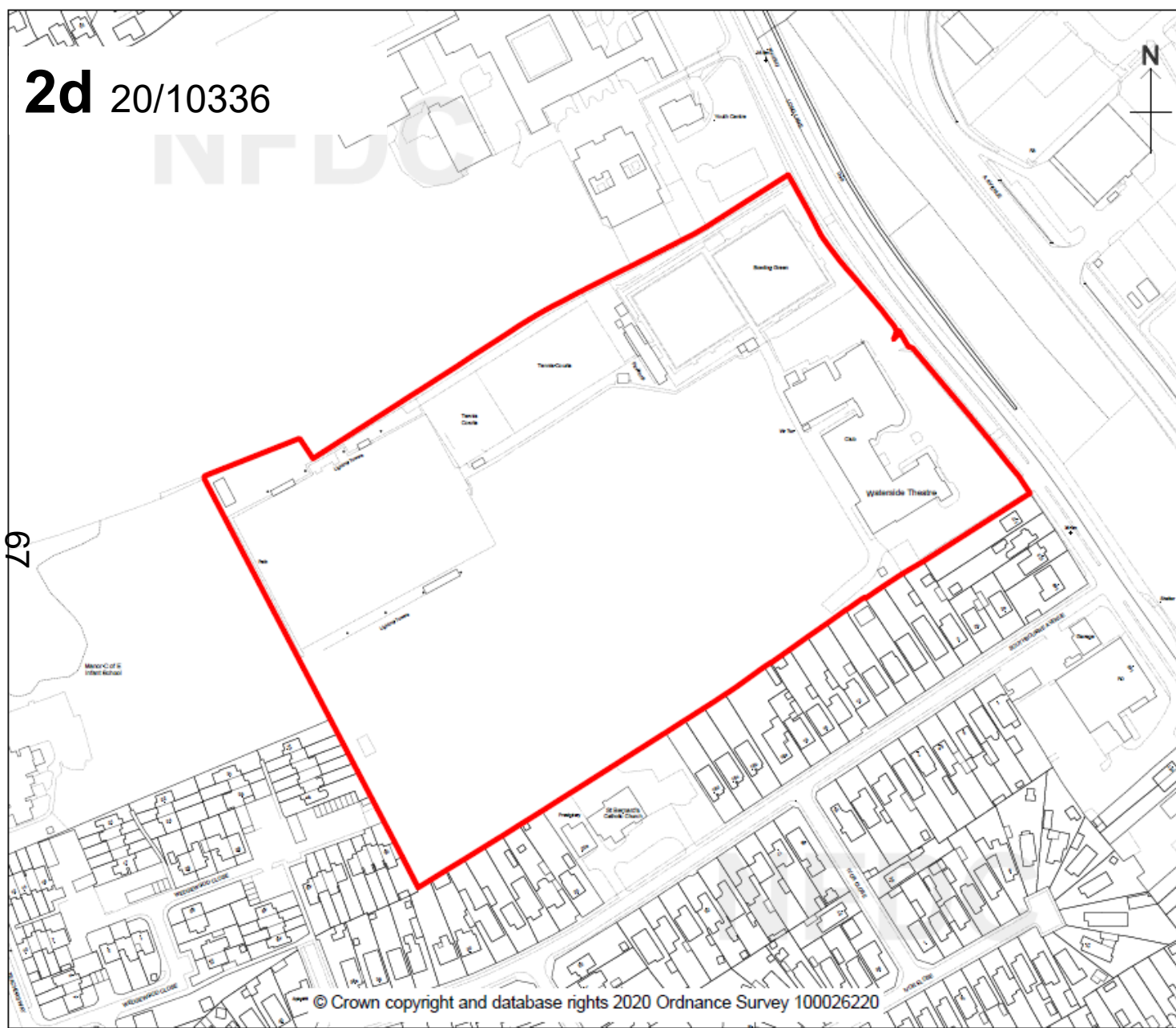
Schedule 2d

App No 20/10336

2d 20/10336

INFDC

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DISTRICT COUNCIL

Tel: 023 8028 5000
www.newforest.gov.uk

Claire Upton-Brown
Chief Planning Officer
Planning
New Forest District Council
Appletree Court
Lyndhurst
SO43 7PA

PLANNING COMMITTEE

November 2020

Esso Sport & Recreation Club
179-181 Long Lane
Holbury SO45 2PA
20/10336

Scale 1:2500

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Claire Upton-Brown
Chief Planning Officer
Planning
New Forest District Council
Appletree Court
Lyndhurst
SO43 7PA

PLANNING COMMITTEE

November 2020

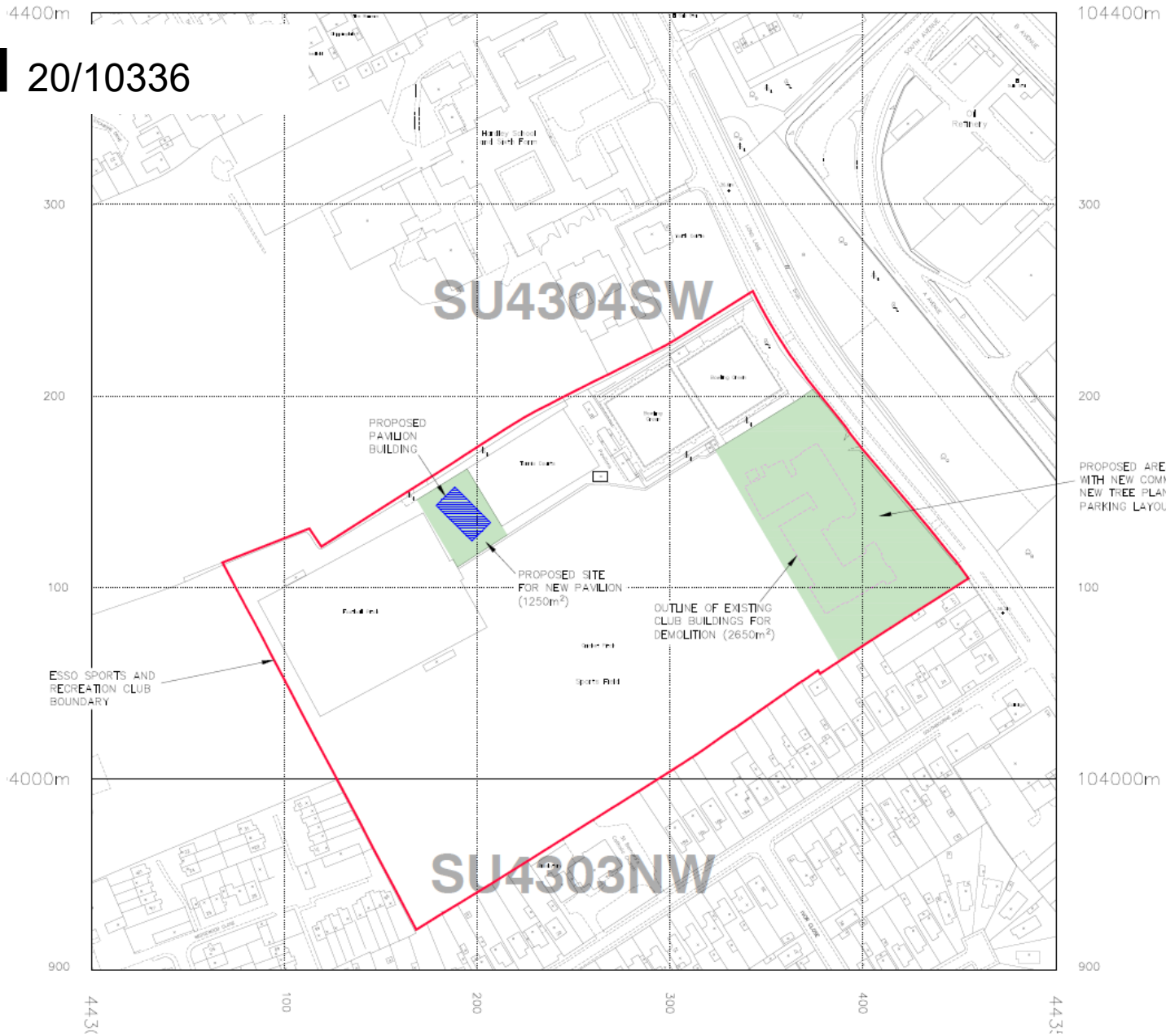
Esso Sport & Recreation Club
179-181 Long Lane
Holbury Fawley SO45 2PA
20/10336

Scale 1:2500

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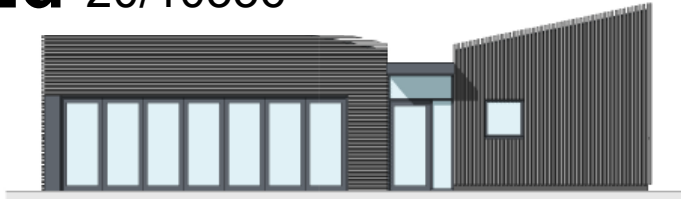


2d 20/10336

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REVISION NOTES

Rev	Date	Description	By	CHK



1 South-East Elevation.
1 : 100

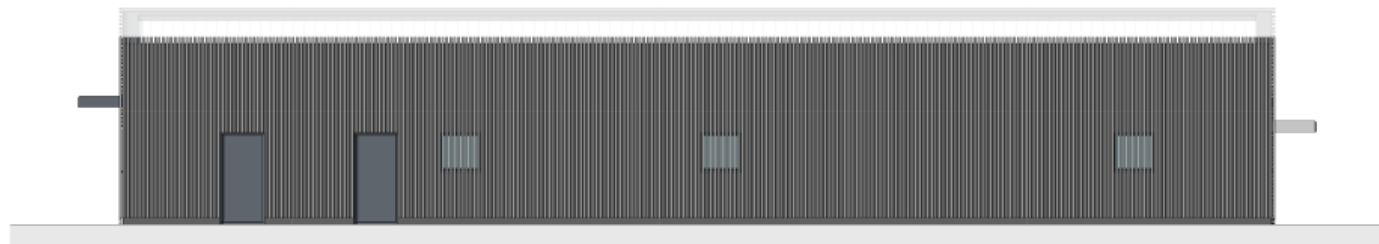


2 North-West Elevation
1 : 100

WORK IN PROGRESS



3 South-West Elevation
1 : 100



4 North-East Elevation
1 : 100



WLA WilliamsLester.

Colin and Heidi Cross (Architects), Engineers, Planners
www.williamslester.com 01429 495234 mail@williamslester.com

Client
Wheatlands Construction Ltd

Project
HCSA Pavillion
Long Lane, Farley

Title
Elevations

Scale A3 @ 1 : 100
Revision Drawing Stage
Subsity **SO** Planning
Subsity Description
Concept Design
Drawing No **5942-WLA-ZZ-XX-DR-A-0300**

Plot size: 20/10336 11/2017 C:\Users\mlester\Documents\Projects\5942\5942-XX-DR-A-0300.dwg

2d 20/10336

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REVISION NOTES			
No.	Date	Description	By

WORK IN PROGRESS



WLA WilliamsLester.

Regional House, One Ash Lane, Ringwood, B202 3NP
01429 824000 www.williamslester.com info@williamslester.com

Client: **Wheatlands Construction Ltd**

Project: **HCSA Pavilion
Long Lane, Fawley**

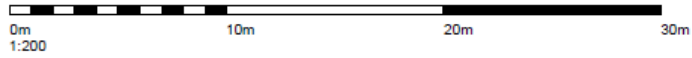
Title: **Site Plan**

Scale: **A3 @ 1:200**

Revision: **Planning**

Subsidiary: **S0 Concept Design**

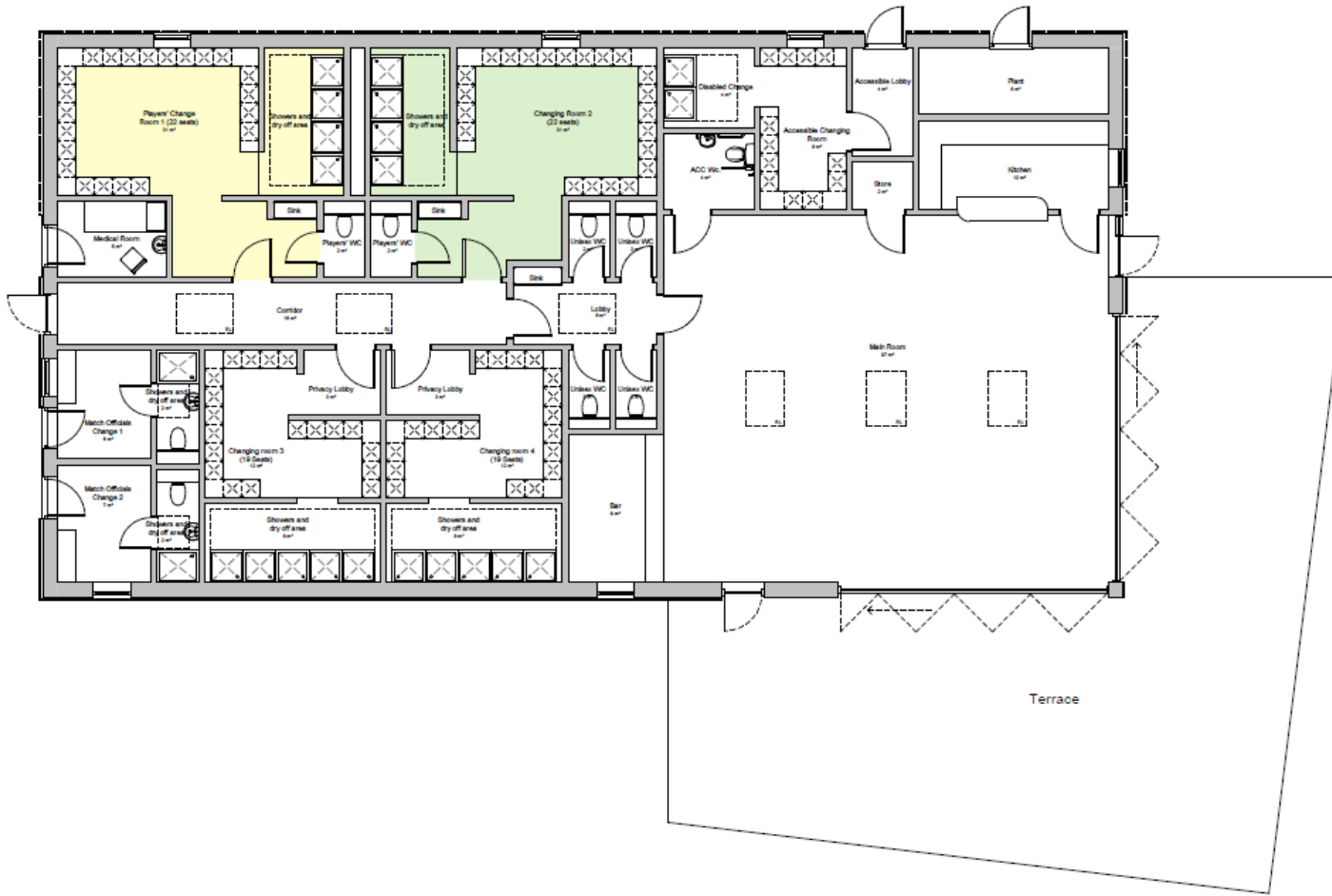
Drawing No: **5942-WLA-ZZ-XX-DR-A-0111**



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REVISION NOTES		
No.	Date	Description



WORK IN PROGRESS

72

1 Ground Floor Plan
1:50

GIA	
Table	Area
Area	35m ²





WLA WilliamsLester.

Registered Office: One East Lane, Fawley, RG26 7DT
www.williamslester.com 01263 812121 wll@williamslester.com

Client
Wheatlands Construction Ltd

Project
HCSA Pavillion
Long Lane, Fawley

Title
Ground Floor Plan

Issue: A1 @ 1:50	WLA/PLN/HR/SMD
Author: S0	Planning
Checker: S0	Concept Design
Drawing No.: 5942-WLA-ZZ-GF-DR-A-0200	

File No: 2019018 10336 1:50 Ground Floor Plan (2020) Drawn By: SMD, Checked By: SMD, Date: 20/10/2020

- All work specified by these documents shall be performed in full accordance with all applicable codes.
- Contractor is responsible for the safety, actions and conduct of the employees and his subcontractors employees who are in the project area and adjacent areas.
- Contractor shall coordinate with all trades to provide complete working guidance.
- Contractor shall advise agencies to request site via Contract Supervisor and/or Health & Safety Officer, and shall follow all site specific rules of conduct as enforced by the Contract Supervisor and/or Health & Safety Officer. Contractor shall only use site entrance as specified by Contract Supervisor. Contractor shall be responsible for coordinating material removal and delivery with Contract Supervisor, so as to avoid disturbance to clients and neighbours.

- Contractor shall review these plans thoroughly, make a detailed site visit, and shall immediately advise any design, survey or site layout problem or inconsistency, or any other request for clarification to JPS for resolution prior to the delivery of any quotation. All quantities must be accurately measured on site by the Contractor. Failure to do so shall cause the Contractor to be ineligible for extra relating to such matters once the quote has been accepted.
- Drawings of existing facilities are, in general, approximate. Exact locations shall be determined by the Contractor from field measurements taken by Contractor's personnel. Actual arrangement of the work shall follow locations shown on the drawings unless the contractors of existing equipment and construction. Dimensions shall govern these drawings and they are not to be varied. Drawings and notes to drawings are co-equal and have equal authority and priority. Should there be discrepancies in themselves or between them, Contractor shall base his pricing on the most conservative interpretation of reading a set. In the event of work indicated. In the event of discrepancies, the appropriate method of performing the work and/or items to be incorporated into the scope of the work shall be determined by the Contract Supervisor.

- Contractor shall adjust/re-locate existing features as shown and shall re-install any existing features removed to reconstruct other portions of the work.
- Contractor shall be responsible for seeing that each subcontractor shows up and remains ON-SITE any and all dates generated by construction operations, making ready for all subsequent subcontractors.

- General Contractor SHALL: Exercise reasonable precautions to the protection of all existing features to remain and/or all existing structures to remain on site. Schedule and coordinate all trades to eliminate damage to all finishes once installed. Provide protection coverage for all finishes to remain in the project area and for all finishes which may be subject to traffic or construction activity in adjacent areas. Provide protective covering for all windows and other glass to remain. Provide impact protection for all finishes. Provide minimum 1/8 inch thick temporary hardboard or plywood going way to protect all flooring surfaces from damage, cracking, scuffing or other damage from vehicles, hand trucks or rolling bins or tool carts used to transport materials to and from project area.
- It is the Client's responsibility to ensure they have obtained any relevant Planning Permissions before any work on site commences.

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PROTECTION OF TREES

- The responsibility for the safety of trees always rests with the site owner or the person who has control of tree management. Where plans contain trees this JPS design does not include liability with the appropriate local planning authority or any regulations that exceed the works to protected trees or hedges. Consent for works to protected trees and hedges must be obtained from the local planning authority prior to any works being carried out on them.
- The trees and landscape features within or adjacent to the site may be protected by tree preservation orders, be within a conservation area, constitute an important hedge or be subject to planning conditions. The local planning authority must be contacted for details of any such planning restrictions and their advice followed before work is planned or carried out to trees.
- The legal Duty of Care requires that all works to trees should be carried out by qualified, arboricultural contractors working according to Health & Safety Executive guidelines. All branches should be carried out to arboricultural industry best practice and comply with BS 3900:2010 Tree work - Recommendations. All tree management work must take account of the Wildlife and Countryside Act, 1981, as amended by the Countryside and Rights of Way Act, 2000, which makes it a criminal offence to disturb, injure or kill bats or nesting birds and other protected animals.
- Important hedges may be protected if they are in the countryside, are over 20m long and over 30 years old, provide habitats for protected species or have been designated as such by a local planning authority.
- Tree health and condition can change over time and be affected by the environment, therefore, regular periodic inspections are recommended and a qualified arboriculturist consulted if any concerns are identified.

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SCALE BAR

It is the Client's responsibility to check and confirm all measurements on site. JPS is not responsible for any discrepancies between the drawings and on-site measurements.

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HATCH KEY	
[Hatch pattern]	Vehicular Permeable Tarmac
[Hatch pattern]	Pedestrian Permeable Tarmac
[Hatch pattern]	Lawn
[Hatch pattern]	Planting
[Hatch pattern]	Hedging

DESIGN KEY	
A	Main Boulevard
B	Cycle Parking
C	Double Width Access
D	Picnic Lawn
E	Cherry Tree Allee
F	95 Parking Spaces With Pedestrian Walkways
G	New Pedestrian Entrance
H	Pedestrian Crossing
I	Magnolia Tree Allee
J	5 Disabled Parking Spaces
K	30 Parking Spaces
L	Two of Handbarrow Screens
M	900mm dwarf brick wall with chain mesh fencing behind

JPS
LANDSCAPE DESIGN

ROOPE OFFICE
The Wheel House, 3rd Floor, 27-29, Colindale Avenue, W9 1JH (Tel: 020 822 4145)

LONDON OFFICE
2nd Floor, New South Works, London SE1 6NF (Tel: 020 714 7676)

EMAIL: info@jpslandscape.com
WWW: www.jpslandscape.com

Drawing Title: Concept Design Plan	
Client Ref: 822	Scale: 1:200 @ A1
Project Ref: CPD001	
Issue Date: 18.06.19	
Issue By: DW	
Issue No: 006	
Issue Date: 18.02.20	

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2d 20/10336



2d 20/10336

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Planning Committee

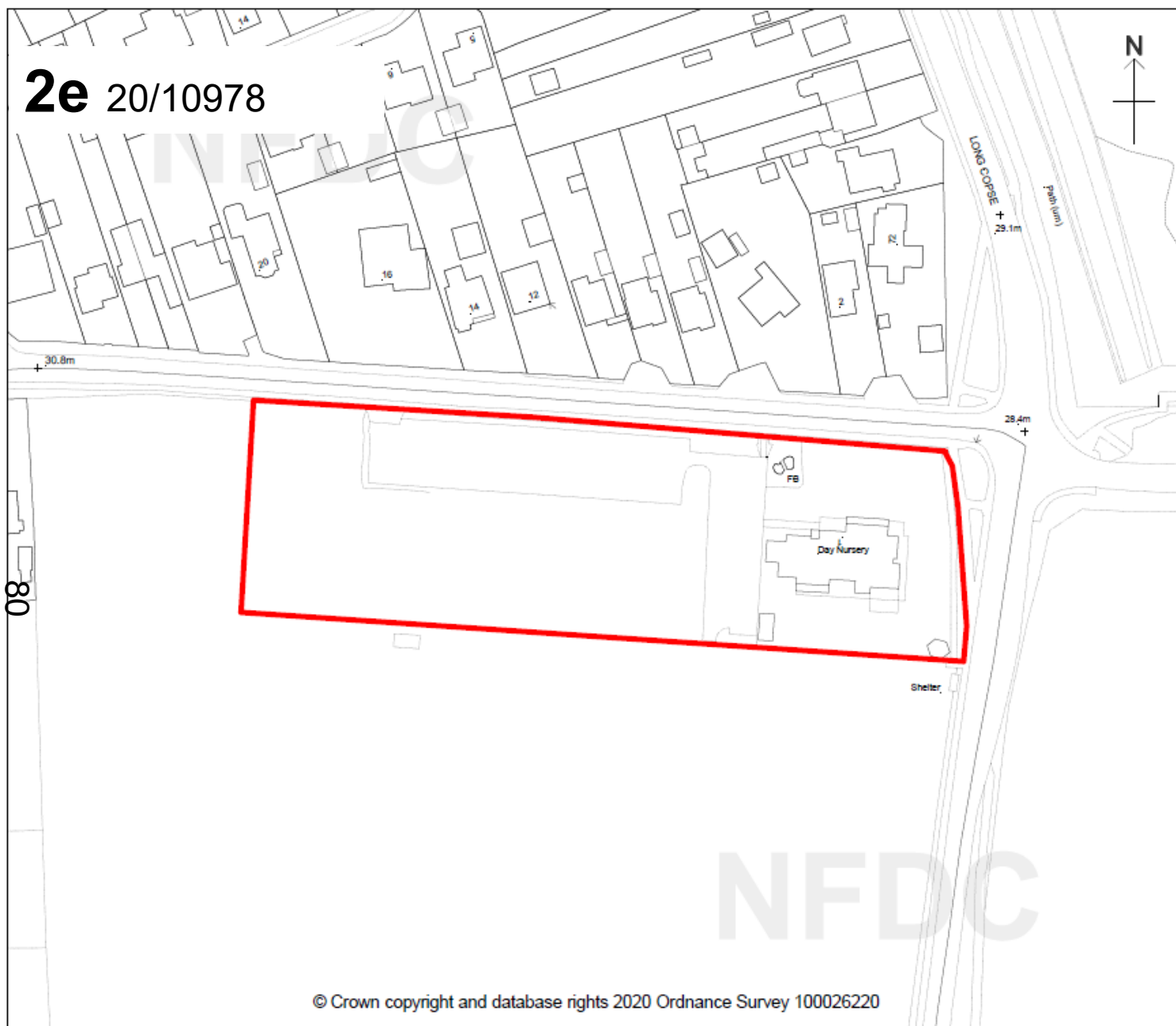
November 2020

WOODBERRY DAY NURSERY, 1
ROLLESTONE ROAD, HOLBURY, FAWLEY
SO45 2GD

Schedule 2e

App No 20/10978

2e 20/10978



New Forest
DISTRICT COUNCIL

Tel: 023 8028 5000
www.newforest.gov.uk

Claire Upton-Brown
Chief Planning Officer
Planning
New Forest District Council
Appletree Court
Lyndhurst
SO43 7PA

PLANNING COMMITTEE

November 2020

Woodbery Day Nursery
1 Rollestone Road
Holbury Fawley SO45 2GD
20/10978

Scale 1:1250

N.B. If printing this plan from
the internet, it will not be to
scale.

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2e 20/10978



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New Forest
DISTRICT COUNCIL

Tel: 023 8028 5000
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Claire Upton-Brown
Chief Planning Officer
Planning
New Forest District Council
Appletree Court
Lyndhurst
SO43 7PA

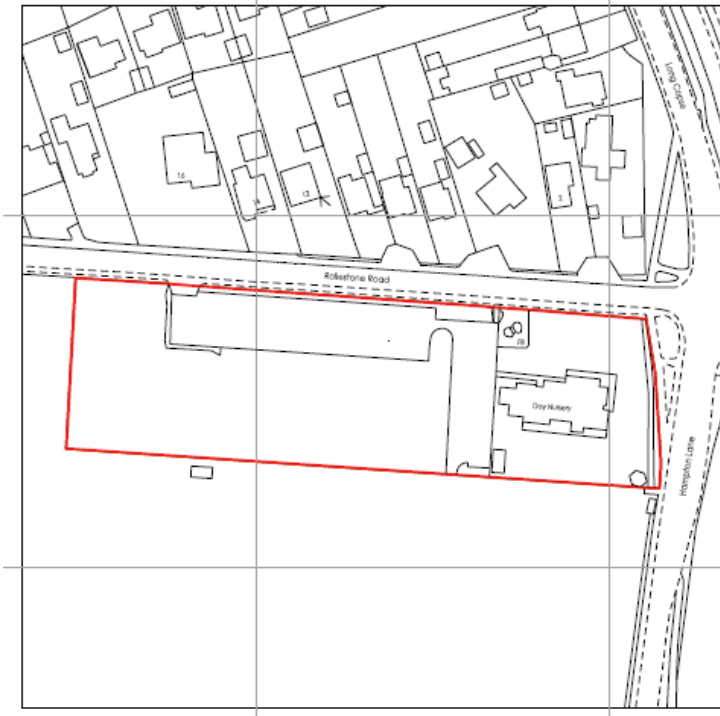
PLANNING COMMITTEE

November 2020

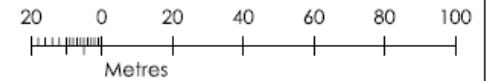
Woodberry Day Nursery
1 Rolleston Road
Holbury Fawley SO45 2GD
20/10978

Scale 1:1250

N.B. If printing this plan from
the internet, it will not be to
scale.




82



Site Location Plan

Scale ~ 1: 1250

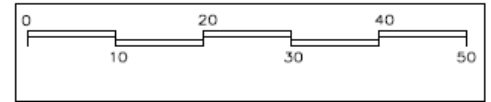
The Swallows Horton Wem Shrewsbury SY4 5ND Tel: 01743 361211	 THE PLANNING GROUP LIMITED info@planninggroup.co.uk	Location Woodberry Day Nursery 1 Rolleston Road, Holbury SO45 2GD	Project Proposed Alterations to Day Nursery to increase Baby Care & Toddler provision	Drawing Site Location Plan	scale 1:1250	paper size A3	drawing no. WDNF / PP / 01	date Aug 20

2e 20/10978



Block Plan Scale ~ 1:500

Area's of extension



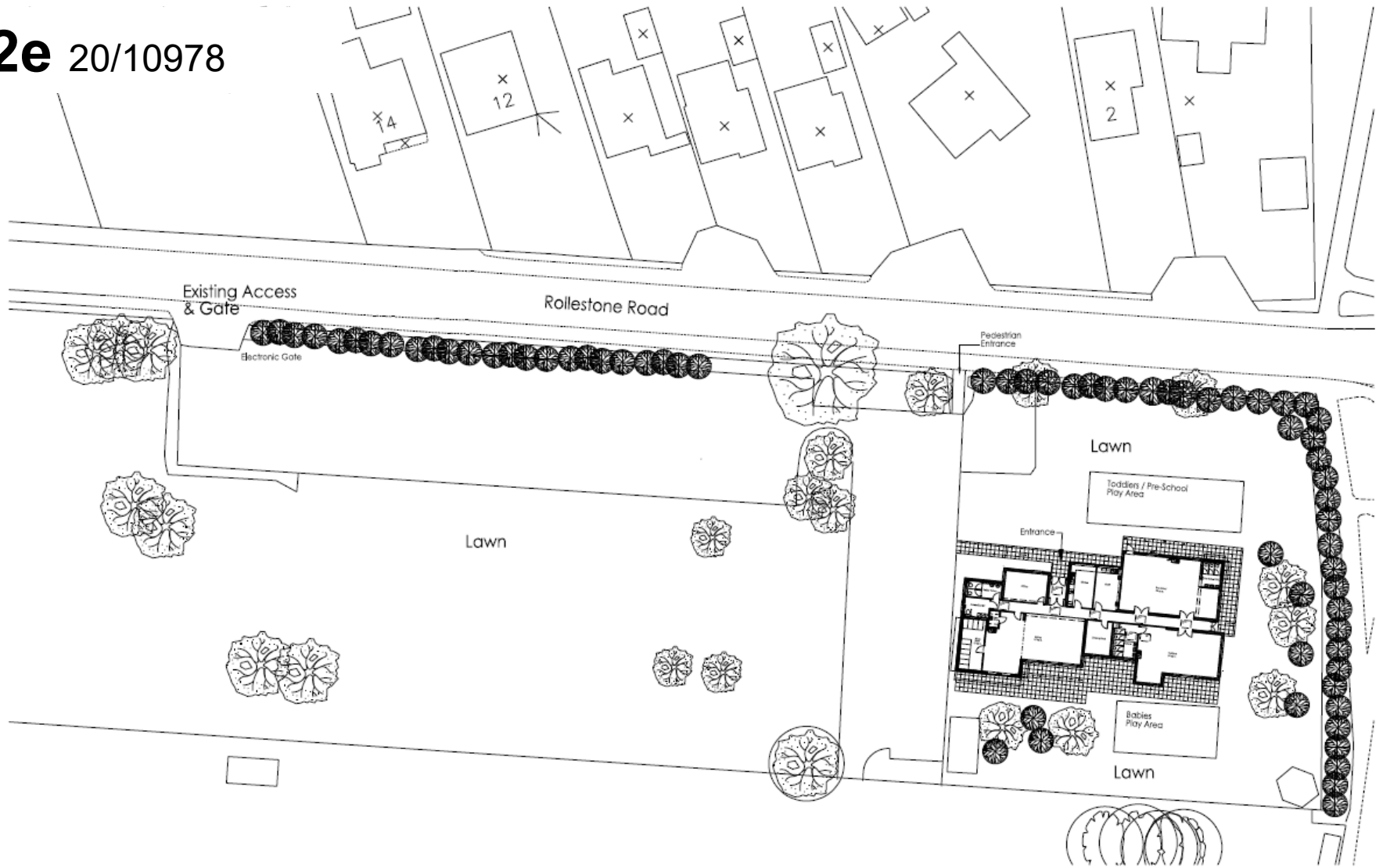
1:500 scale bar

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Red line area = 8,120 sq m (2.006 acres)

The Swallows Horton Wern Shrewsbury SY4 5ND Tel: 01743 361211		Location Woodberry Day Nursery 1 Rolleston Road, Holbury SO45 2GD	Project Proposed Alterations to Day Nursery to increase Baby Care & Toddler provision	Drawing Block Plan	scale	paper size	drawing no.	date
					1:500	A3	WDNF / PP / 02	Aug 20

2e 20/10978



84

The Swallows
Horton
Wain
Strovesbury
SY4 5ND
Tel: 01743 361211



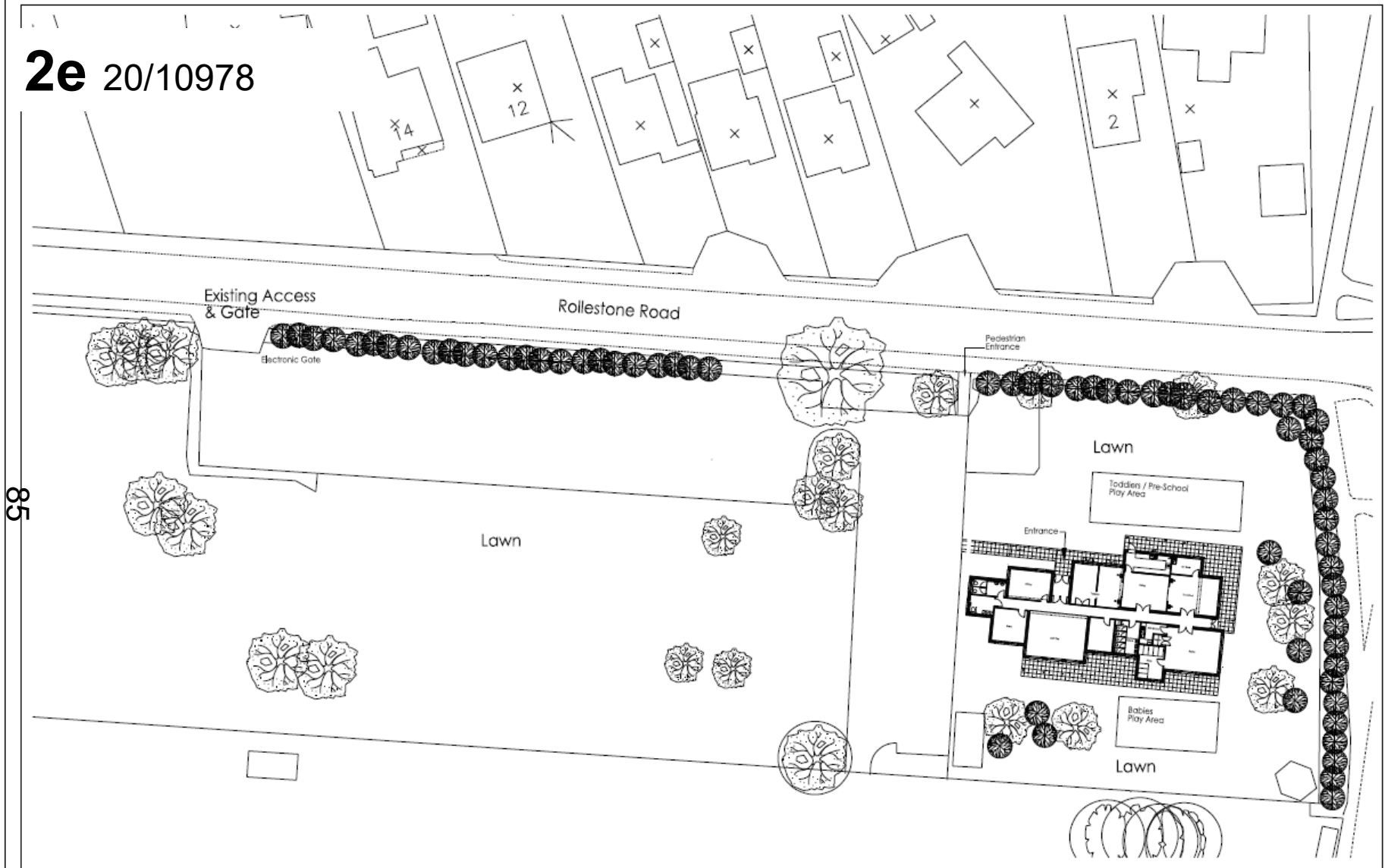
Location Woodberry Day Nursery
1 Rolleston Road,
Holbury
SO45 2GD

Project Proposed Alterations to Day Nursery
to increase Baby Care & Toddler
provision

Drawing Proposed Site Plan

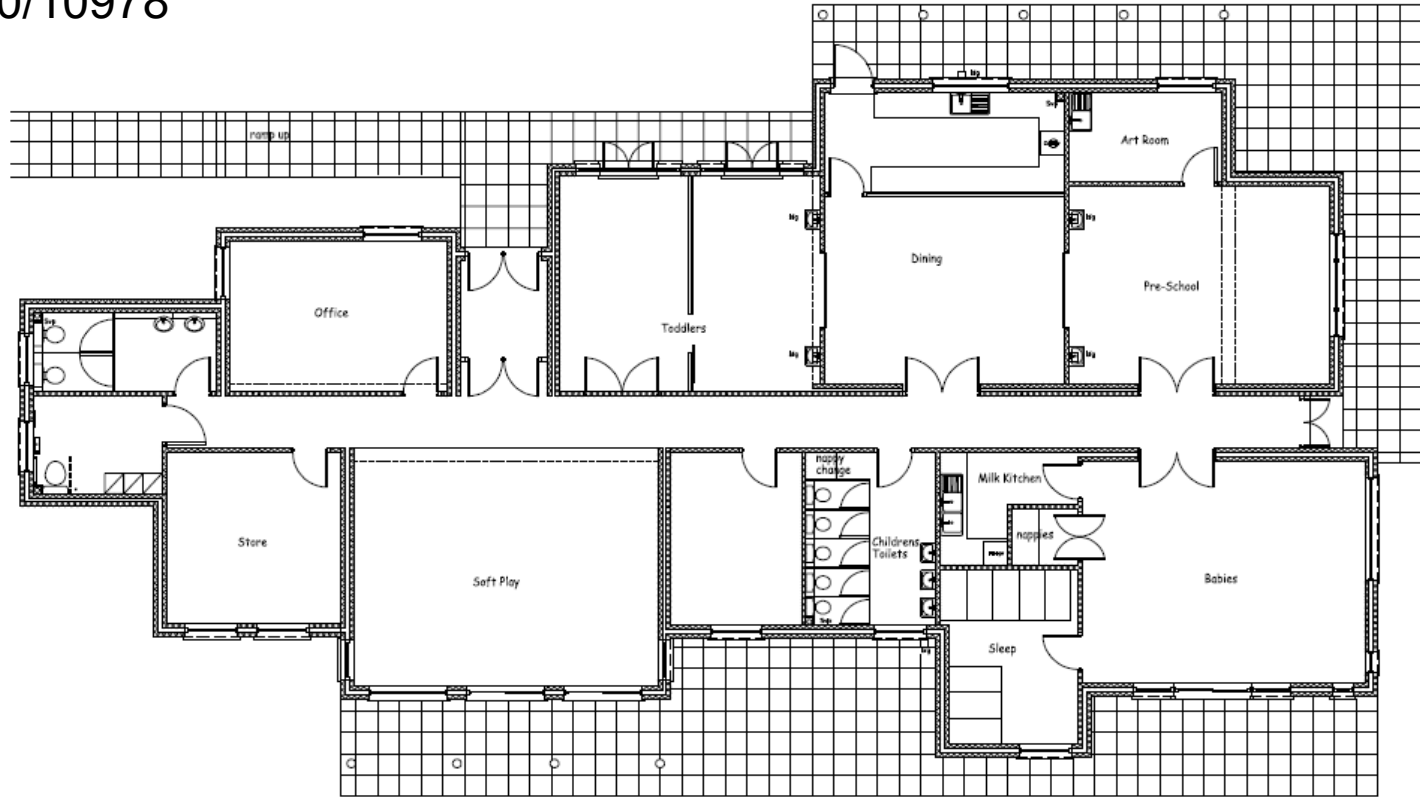
scale	paper size	drawing no.	date
1:200	A1	WDFN / PP / 04	Aug 20

2e 20/10978




85

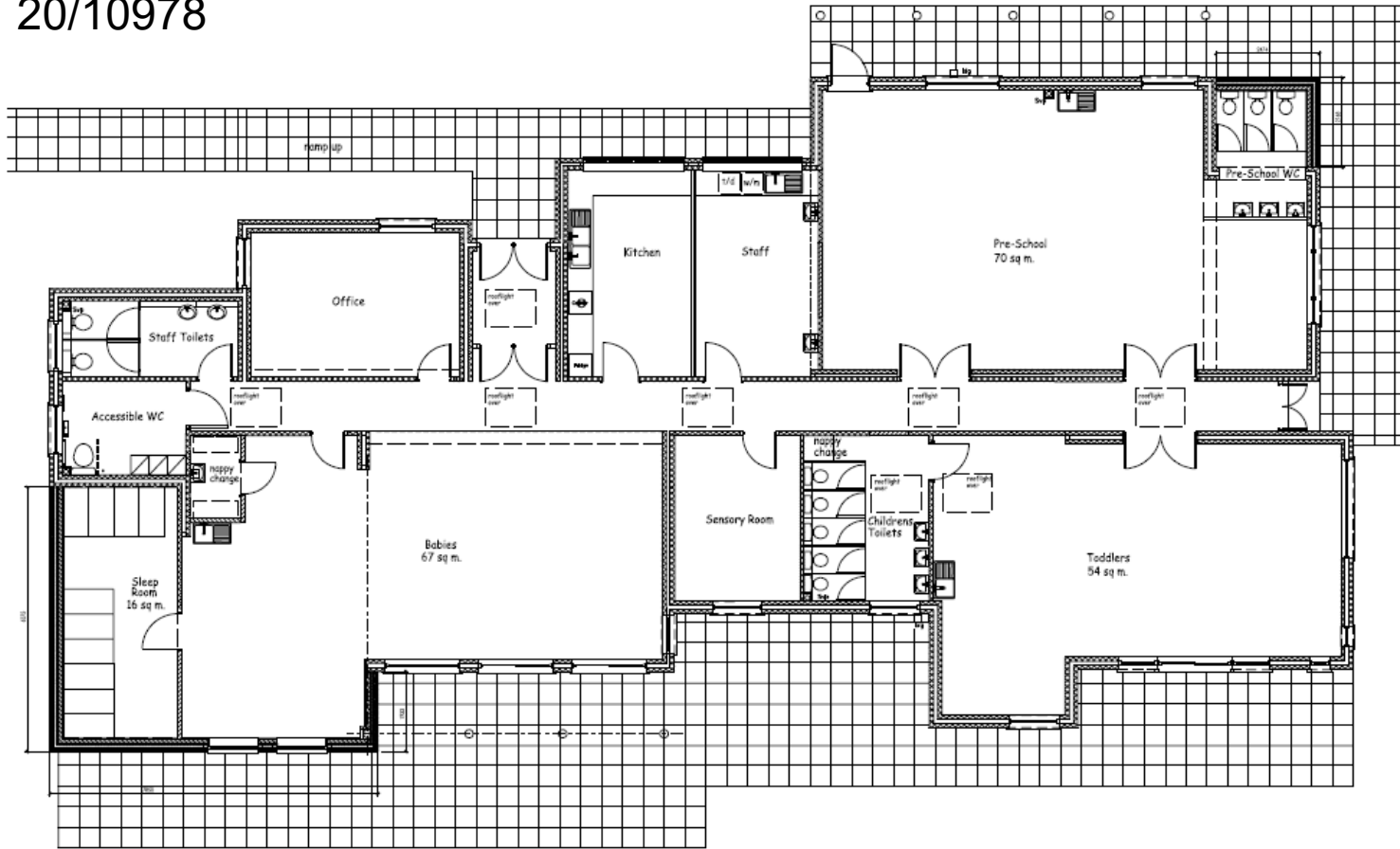
The Swallows Horton Shrewsbury SY4 5ND Tel: 01743 361211		Location Woodberry Day Nursery 1 Rolleston Road, Holbury SO45 2GD	Project Proposed Alterations to Day Nursery to increase Baby Care & Toddler provision	Drawing Existing Site Plan	scale	paper size	drawing no.	date
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86




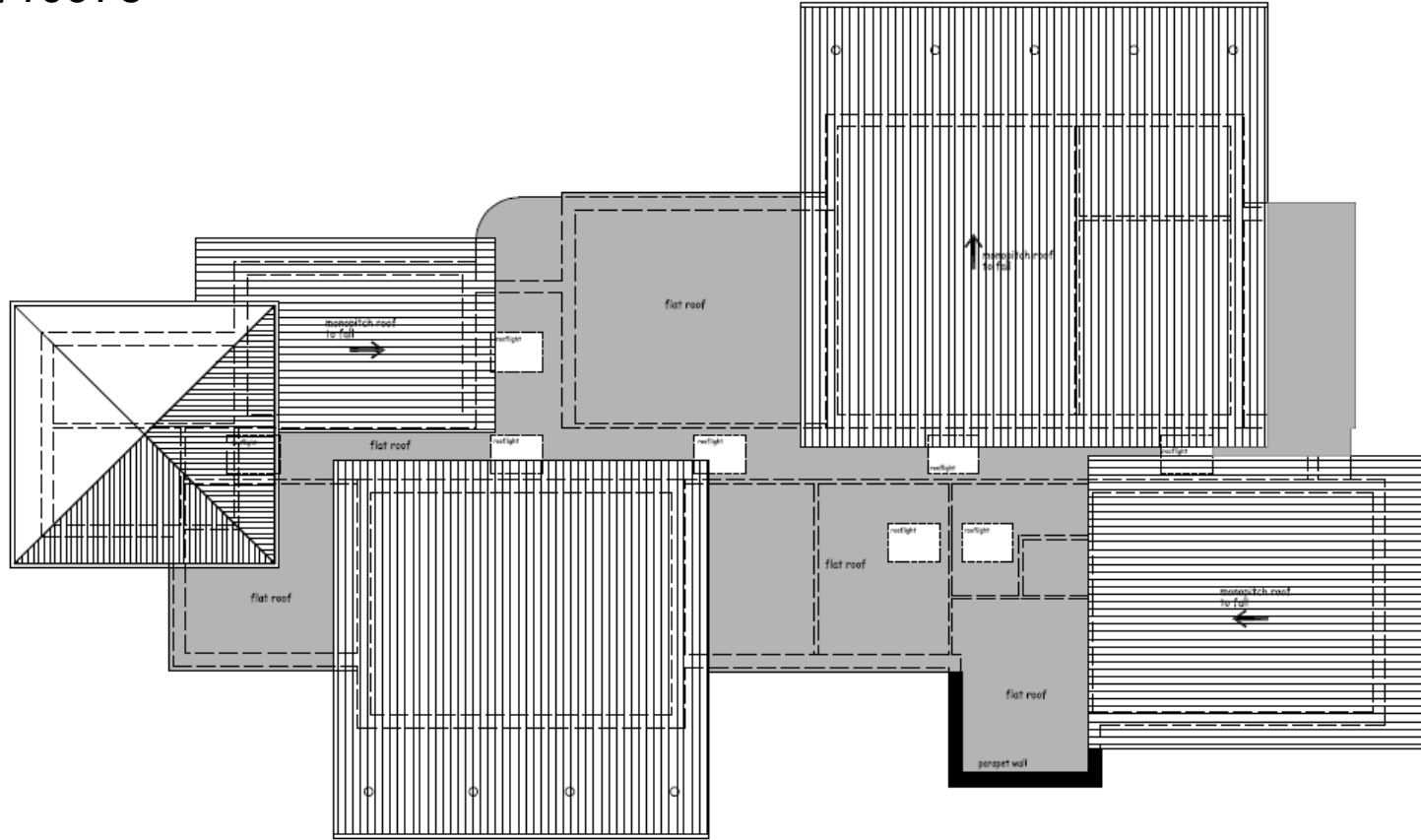
The Swallows Horton Wren Shrewsbury SY4 5ND Tel: 01743 361211	 info@planning-group.co.uk	Location Woodberry Day Nursery 1 Rolleston Road, Holbury SO45 2GD	Project Proposed Alterations to Day Nursery to increase Baby Care & Toddler provision	Drawing Existing Ground Floor Plan	scale	paper size	drawing no.	date
					1:100	A3	WDNF / PP / 11	Aug 20



87



The Swallows Horton Wren Shrewsbury SY4 5ND Tel: 01743 351211	 info@planning-group.co.uk	Location Woodberry Day Nursery 1 Rolleston Road, Holbury SO45 2GD	Project Proposed Alterations to Day Nursery to increase Baby Care & Toddler provision	Drawing Proposed Ground Floor Plan	scale	paper size	drawing no.	date
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88



The Swallows
Horton
Wem
Shrewsbury
SY4 8ND
Tel: 01743 361211

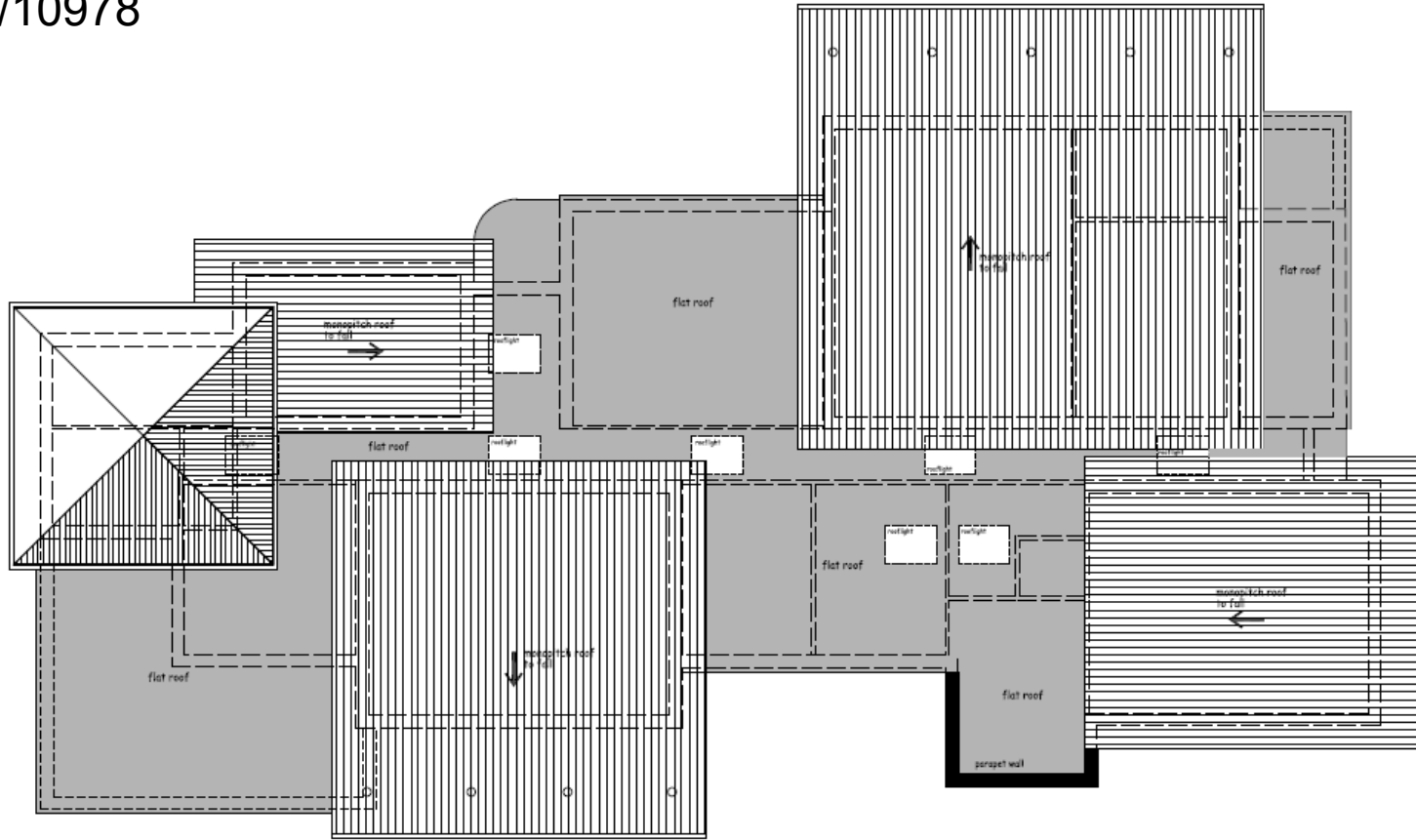
THE PLANNING GROUP LIMITED
info@planning-group.co.uk


Location Woodberry Day Nursery
1 Rolleston Road,
Holbury
SO45 2GD

Project Proposed Alterations to Day Nursery
to increase Baby Care & Toddler
provision

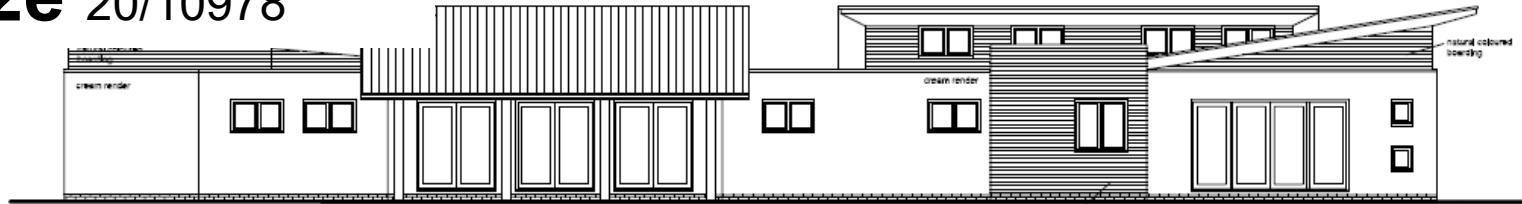
Drawing Existing Roof Plan

scale	paper size	drawing no.	date
1:100	A3	WDNF / PP /12	Aug 20

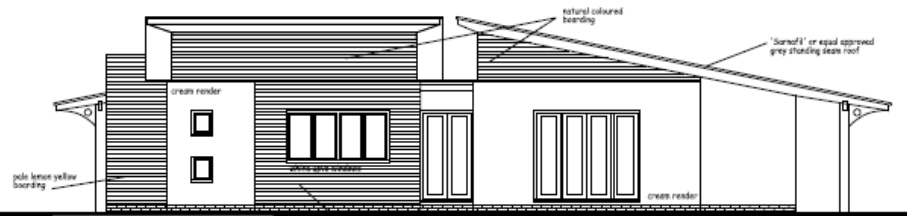


The Swallows Horton Wren Shrewsbury SY4 5ND Tel: 01743 361211	 info@planning-group.co.uk	Location Woodberry Day Nursery 1 Rolleston Road, Holbury SO45 2GD	Project Proposed Alterations to Day Nursery to increase Baby Care & Toddler provision	Drawing Proposed Roof Plan	scale	paper size	drawing no.	date
					1:100	A3	WDNF / PP / 15	Aug 20

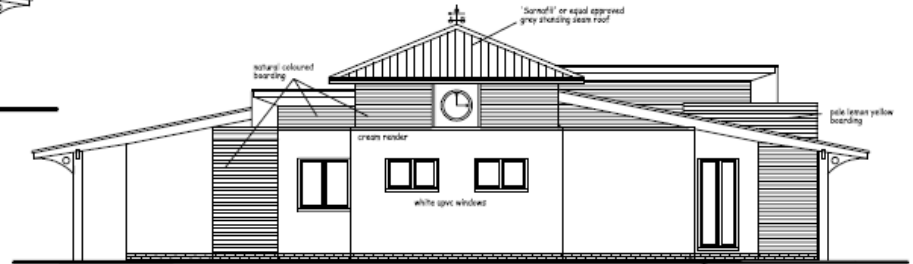
2e 20/10978



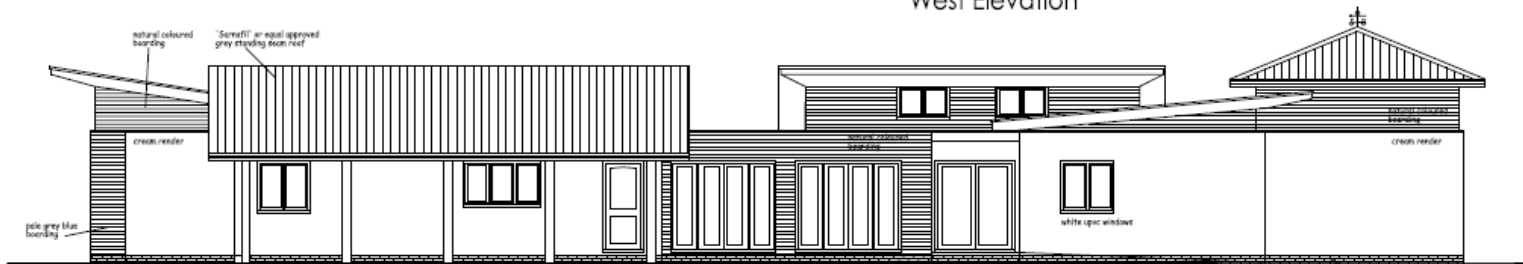
South Elevation



East Elevation



West Elevation



North Elevation

The Swallows
Horton
Wim
Shrewsbury
SY4 5ND
Tel: 01743 361211

THE PLANNING GROUP LIMITED
info@planning-group.co.uk

Location
Woodberry Day Nursery
1 Rolleston Road,
Holbury
SO45 2GD

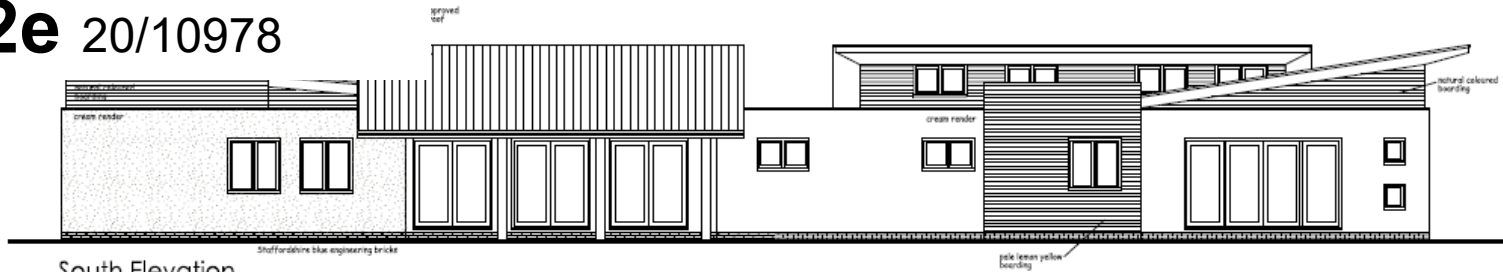
Project
Proposed Alterations to Day Nursery
to increase Baby Care & Toddler
provision

Drawing
Existing Elevations

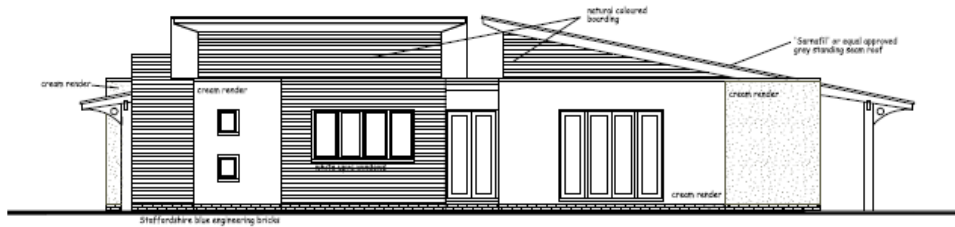
scale	paper size	drawing no.	date
1:100	A3	WDNF / PP / 13	Aug 20

2e 20/10978

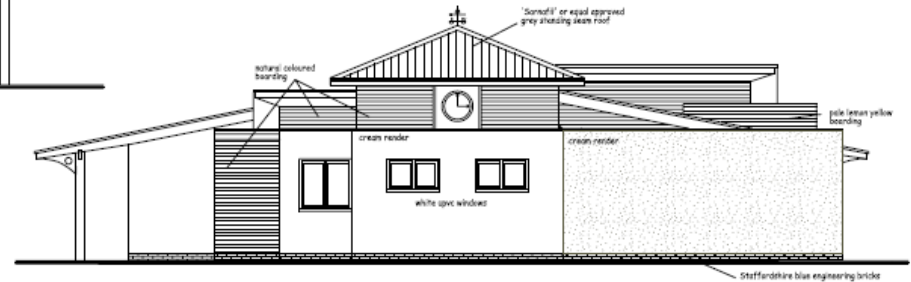
Scale 1:100



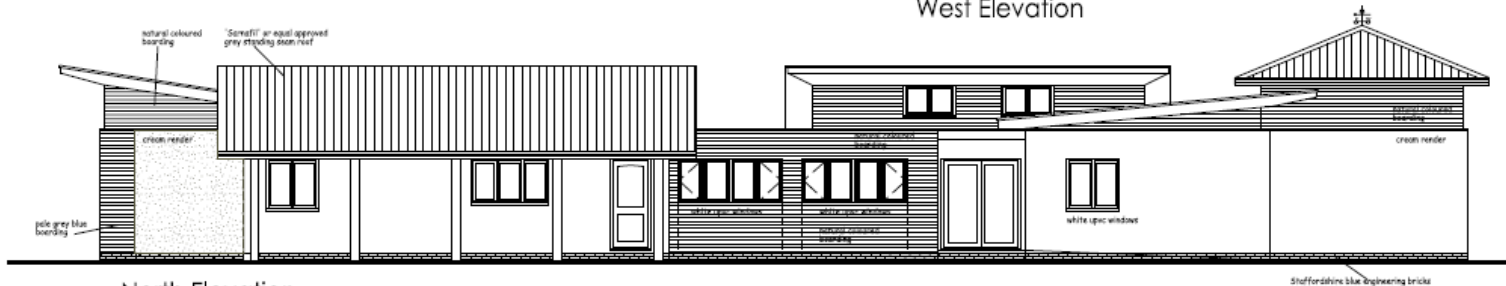
South Elevation



East Elevation



West Elevation



North Elevation

91

The Swallows
Horton
Wain
Shrewsbury
SY4 5ND
Tel: 01743 361211

THE PLANNING GROUP LIMITED
info@planning-group.co.uk

Location
Woodberry Day Nursery
1 Rolleston Road,
Holbury
SO45 2GD

Project
Proposed Alterations to Day Nursery
to increase Baby Care & Toddler
provision

Drawing
Proposed Elevations

scale	paper size	drawing no.	date
1:100	A3	WDNF / PP /16	Aug 20

2e 20/10978



Planning Committee

November 2020

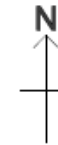
BROCKWOOD, 42 BARTON COMMON LANE,
BARTON-ON-SEA, NEW MILTON BH25 5PS

94

Schedule 2f

App No 20/10994

2f 20/10994



New Forest
DISTRICT COUNCIL

Tel: 023 8028 5000
www.newforest.gov.uk

Claire Upton-Brown
Chief Planning Officer
Planning
New Forest District Council
Appletree Court
Lyndhurst
SO43 7PA

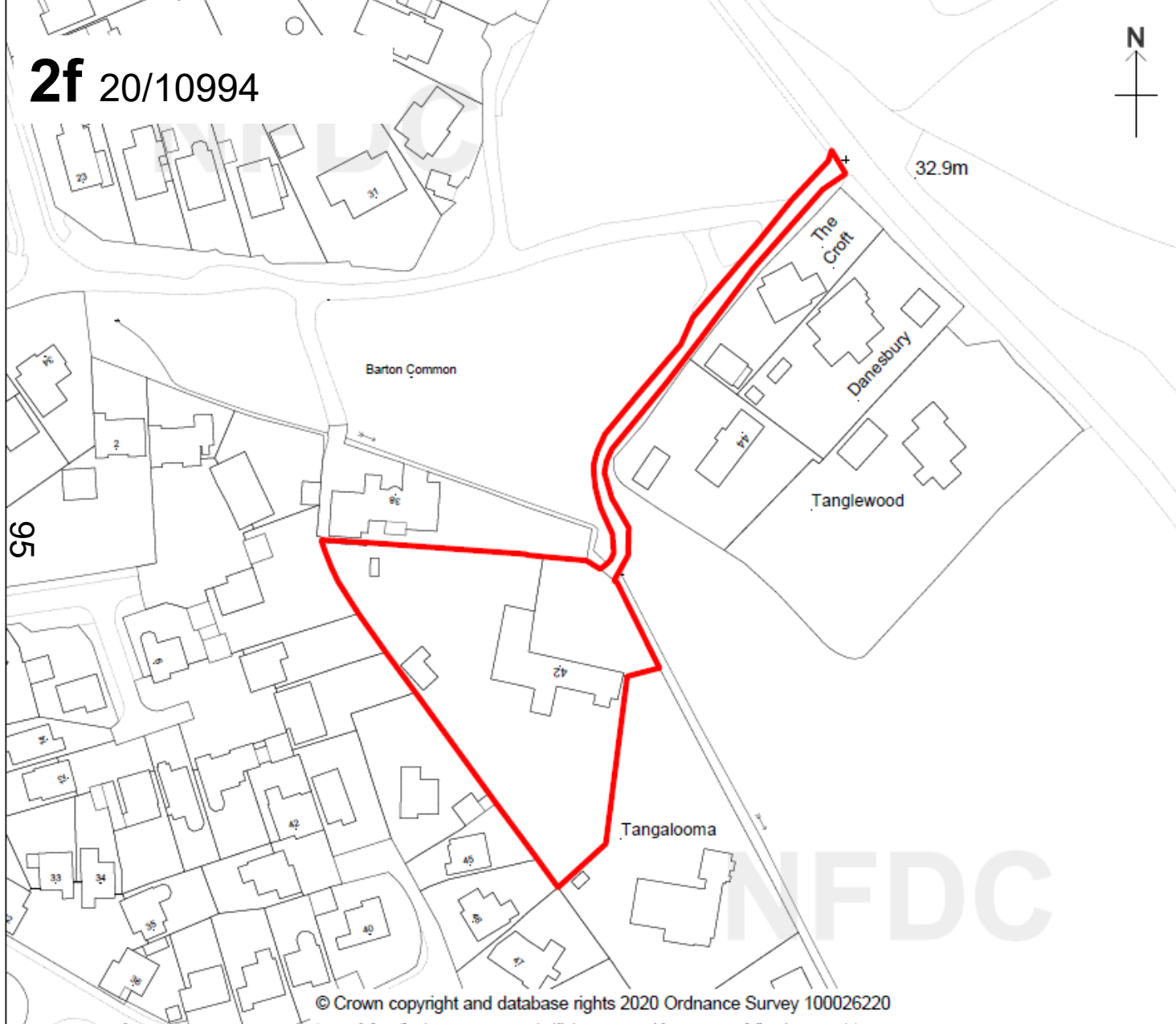
PLANNING COMMITTEE

November 2020

Brockwood, 42 Barton Common Lane
Barton on Sea
New Milton
BH25 5PS

Scale 1:1250

N.B. If printing this plan from
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2f 20/10994

96



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Claire Upton-Brown
Chief Planning Officer
Planning
New Forest District Council
Appletree Court
Lyndhurst
SO43 7PA

PLANNING COMMITTEE

November 2020

Brockwood 42 Barton Common Lane
Barton on Sea
New Milton BH25 5PS
20/10994

Scale 1:1250

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scale.



97

2f 20/10994

Plot 2 - Refused 18/11146



Plot 2 - Proposed 20/10994

86

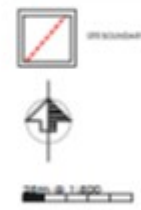


CONTEXTUAL SITE PLAN (WITH OR WITHOUT BOUNDARY SURVEY)
SCALE: 1:500

NOTES

1. This plan is a contextual site plan and does not constitute a planning application.
2. The site is shown in red on this plan.
3. The site is shown in red on this plan.
4. The site is shown in red on this plan.
5. The site is shown in red on this plan.
6. The site is shown in red on this plan.
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17. The site is shown in red on this plan.
18. The site is shown in red on this plan.
19. The site is shown in red on this plan.
20. The site is shown in red on this plan.

LEGEND



1	Residential	11.000	1%
2	Other Uses	12.000	1%
3	Residential (Over 50)	13.000	1%
4	Residential	14.000	1%

42 BARTON COMMON LANE
BARTON ON SEA
NEW MILTON
BH25 5PG

CONTEXTUAL SITE PLAN

Drawn: A.J. DUNN	Checked: C.J.
Date: SEPTEMBER 2020	Project: 106

9074/ 106

ARC Architecture Ltd.

Client: Studio, 14 Funnell,
Chichester, Dorset, BH23 1DP

Tel: +44 (0) 1243 47884
Email: info@arc-architecture.co.uk
Web: www.arc-architecture.co.uk

2f 20/10994

100





2f 20/10994



102



2f 20/10994



103

2f 20/10994



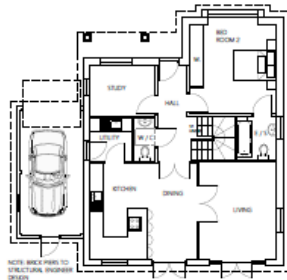
104

2f 20/10994

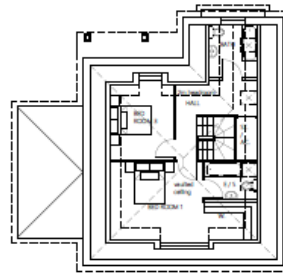


105

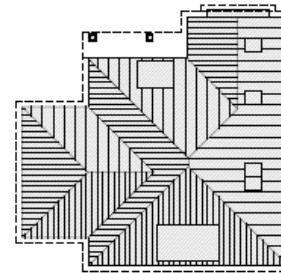
103 Rear boundary with Silverdale



PROPOSED GROUND FLOOR PLAN
SCALE 1:100



PROPOSED FIRST FLOOR PLAN
SCALE 1:100



PROPOSED ROOF PLAN
SCALE 1:100

NOTES

1. The accuracy of this drawing was checked.
2. The accuracy of this drawing was checked.
3. The accuracy of this drawing was checked.
4. The accuracy of this drawing was checked.
5. The accuracy of this drawing was checked.
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17. The accuracy of this drawing was checked.
18. The accuracy of this drawing was checked.
19. The accuracy of this drawing was checked.
20. The accuracy of this drawing was checked.

LEGEND

PROPOSED MATERIALS

WALLS: RED BRICK / CLAY TILE HANGING

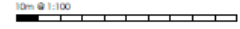
ROOF: CLAY TILES

DORMERS / PORCH / BAYS: LEAD

DOORS / WINDOWS: WHITE

SCHEDULE - PLOT 1 - 3 BED

FLOOR	SQ.M	SQ.FT
GROUND	135.5	1462
FIRST	54.1	580
TOTAL	189.6	2042



NOTE: SPRINKLERS WILL BE REQUIRED

106



PROPOSED FRONT (EAST) ELEVATION
SCALE 1:100



PROPOSED SIDE (SOUTH) ELEVATION
SCALE 1:100



PROPOSED SIDE (NORTH) ELEVATION
SCALE 1:100



PROPOSED REAR (WEST) ELEVATION
SCALE 1:100

B	Re-submission	11.05.20	TC
A	Internal Check	13.08.18	TC
No.	Revision	date	by

42 BARTON COMMON LANE
BARTON ON SEA
NEW MILTON
BH25 5PS

PLOT 1 - PROPOSED PLANS

scale: AS SHOWN @ A1 checked: CS
 date: SEPTEMBER 2020 drawn: TC

9074/101

ARC Architecture Ltd.

Chapel Studios, 14 Purcell,
Christchurch, Dorset, BH23 1EP

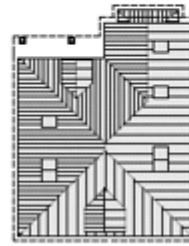
Tel: 444 01202 479919
 Email: info@arc-architecture.co.uk
 Web: www.arc-architecture.co.uk



PROPOSED GROUND FLOOR PLAN
SCALE 1:100



PROPOSED FIRST FLOOR PLAN
SCALE 1:100



PROPOSED ROOF PLAN
SCALE 1:100



PROPOSED FRONT (NORTH EAST) ELEVATION
SCALE 1:100



PROPOSED SIDE (SOUTH EAST) ELEVATION
SCALE 1:100



PROPOSED SIDE (NORTH WEST) ELEVATION
SCALE 1:100



PROPOSED REAR (SOUTH WEST) ELEVATION
SCALE 1:100

NOTES

1. TO BE USED IN CONJUNCTION WITH THE PROPOSED ARCHITECTURAL DRAWINGS.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE BUILDING REGULATIONS 2010.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE BUILDING REGULATIONS 2010.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE BUILDING REGULATIONS 2010.
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9. ALL WORK SHALL BE IN ACCORDANCE WITH THE BUILDING REGULATIONS 2010.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE BUILDING REGULATIONS 2010.

LEGEND

PROPOSED MATERIALS

- WALLS: RED BRICK / THINNE BRICK CLADDING
- ROOF: CLAY TILES
- SKYLINE: THINNE BRICK CLADDING
- DOORS / WINDOWS: WHITE

SCHEDULE - PLOT 2 - 3 BED

ROOM	AREA	SQFT
KITCHEN	8.0	86
BATH	4.1	44
TOTAL	12.1	130

For garage details see drawing 105 - Proposed Garage Plans
10m @ 1:100

NOTE: SPRINKLERS WILL BE REQUIRED

1. Revision	11/08/20 10
2. Revised Check	10/08/20 10
3. Revision	09/08/20 10

42 BARTON COMMON LANE
BARTON ON SEA
NEW MILTON
BN95 9PS

PLOT 2 - PROPOSED PLANS

DATE: 03/09/20 09:41	ISSUED: 03
DATE: 09/08/20 09:30	ISSUED: 10

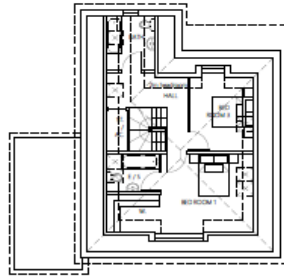
9074/ 102

ARC Architecture Ltd.
Chapel Studio, 14 Finswood,
Chichester, Dorset, BN23 1EP
Tel: +44 (0)1243 476616
Email: info@arcarchitecture.co.uk
www.arcarchitecture.co.uk

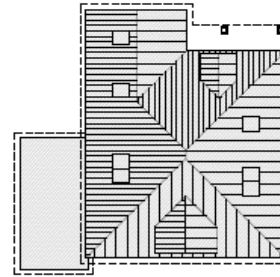




PROPOSED GROUND FLOOR PLAN
SCALE 1:100



PROPOSED FIRST FLOOR PLAN
SCALE 1:100



PROPOSED ROOF PLAN
SCALE 1:100

- NOTES**
1. See location of the planning consent.
 2. See location of the planning consent on the site plan.
 3. See location of the planning consent on the site plan.
 4. See location of the planning consent on the site plan.
 5. See location of the planning consent on the site plan.
 6. See location of the planning consent on the site plan.
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 17. See location of the planning consent on the site plan.
 18. See location of the planning consent on the site plan.
 19. See location of the planning consent on the site plan.
 20. See location of the planning consent on the site plan.

LEGEND

PROPOSED MATERIALS

- WALLS: RED BRICK / CLAY TILE HANGING
- ROOF: CLAY TILES
- DORMERS / GARAGE ROOF: LEAD
- DOORS / WINDOWS: WHITE

SCHEDULE - PLOT 3 - 3 BED

FLOOR	SQ.M	SQ.FT
GROUND	100.6	1083
FIRST	54.3	582
TOTAL	154.7	1665

10m @ 1:100

NOTE: SPRINKLERS WILL BE REQUIRED

108



PROPOSED FRONT (NORTH EAST) ELEVATION
SCALE 1:100



PROPOSED SIDE (SOUTH EAST) ELEVATION
SCALE 1:100



PROPOSED SIDE (NORTH WEST) ELEVATION
SCALE 1:100



PROPOSED REAR (SOUTH WEST) ELEVATION
SCALE 1:100

8	Resubmission	11.09.20	TC
9	Internal Checks	13.06.18	TC
No.	Revision	date	by

42 BARTON COMMON LANE
BARTON ON SEA
NEW MILTON
BH25 5PS

PLOT 3 - PROPOSED PLANS

scale	A3 SHOWN @ A1	checked	CS
date	SEPTEMBER 2020	drawn	TC

9074/ 103

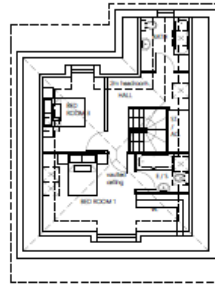
ARC Architecture Ltd.

Chapel Studios, 14 Furzehill,
Christchurch, Dorset, BH23 1EP

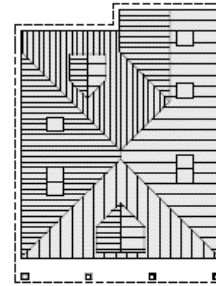
Tel: +44 (0)1202 473619
Email: enquiries@arcarchitecture.co.uk
Web: www.arcarchitecture.co.uk



PROPOSED GROUND FLOOR PLAN
SCALE 1:100



PROPOSED FIRST FLOOR PLAN
SCALE 1:100



PROPOSED ROOF PLAN
SCALE 1:100

NOTES

- The location of the following are indicated:
- On the site, a digital character will be used.
- Construction shall comply with the relevant standards and specifications for the proposed building.
- All work shall be done in accordance with the relevant standards and specifications for the proposed building.
- The proposed building shall be constructed in accordance with the relevant standards and specifications for the proposed building.
- The proposed building shall be constructed in accordance with the relevant standards and specifications for the proposed building.
- The proposed building shall be constructed in accordance with the relevant standards and specifications for the proposed building.
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- The proposed building shall be constructed in accordance with the relevant standards and specifications for the proposed building.
- The proposed building shall be constructed in accordance with the relevant standards and specifications for the proposed building.

LEGEND

PROPOSED MATERIALS

- WALLS: RED BRICK / TIMBER EFFECT CLADDING
- ROOF: CLAY TILES
- DORMERS: TIMBER EFFECT CLADDING
- DOORS / WINDOWS: UPVC

SCHEDULE - PLOT 4 - 3 BED

FLOOR	SQ.M	SQ.FT
GROUND	86.5	931
FIRST	54.1	582
TOTAL	140.6	1513

For garage details see drawing 105A - Proposed Garage Plans



NOTE: SPRINKLERS WILL BE REQUIRED

109



PROPOSED FRONT (NORTH) ELEVATION
SCALE 1:100



PROPOSED SIDE (EAST) ELEVATION
SCALE 1:100



PROPOSED SIDE (WEST) ELEVATION
SCALE 1:100



PROPOSED REAR (SOUTH) ELEVATION
SCALE 1:100

No.	Revision	date	by
B	Re-submission	11.08.20	TC
A	Initial Checks	13.08.18	TC

42 BARTON COMMON LANE
BARTON ON SEA
NEW MILTON
BH25 5PS

PLOT 4 - PROPOSED PLANS

scale	A3 SHOWN @ A1	checked	CS
date	SEPTEMBER 2020	drawn	TC

9074/ 104

ARC Architecture Ltd.

Chapel Studios, 14 Purewell,
Christchurch, Dorset, BH25 1EP

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E-mail: enquiries@newforestarchitecture.co.uk
Web: www.newforestarchitecture.co.uk



Planning Committee

November 2020

UNIT 24, GLENMORE BUSINESS PARK, LIME
KILN LANE, HOLBURY, FAWLEY SO45 2AR

112

Schedule 2g

App No 20/10686

2g 20/10686



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Chief Planning Officer
Planning
New Forest District Council
Appletree Court
Lyndhurst
SO43 7PA

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November 2020

Unit 24 Glenmore Business Park
Lime Kiln Lane
Holbury Fawley SO45 2AR
20/10686

Scale 1:1250

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2g 20/10686



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SO43 7PA

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November 2020

Item No:

Unit 24 Glenmore Business Park
Lime Kiln Lane
Holbury SO45 2AR
20/10686

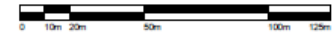
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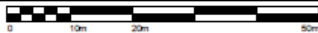


1 Location Plan
SCALE: 1 : 1250



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2 Block Plan
SCALE: 1 : 500



PA	Planning Updates	RB	WB	17.02.18
PS	Updated to Highway Regulations	PM	WB	25.02.18
PS	Increased Number of Units and updated site layout	PM	WB	18.06.18
PI	Initial Options	RB	WB	18.02.18
Rev	Description	By	Check	Date

Hyphen

3 Charlotte Mews
Staple Gardens
Winchester, SO23 8SR
+44 1862 535500
info@hyphen.co.uk

Client
Glenmore Commercial

Project
Glenmore Fawley

Drawing
Location & Block Plan

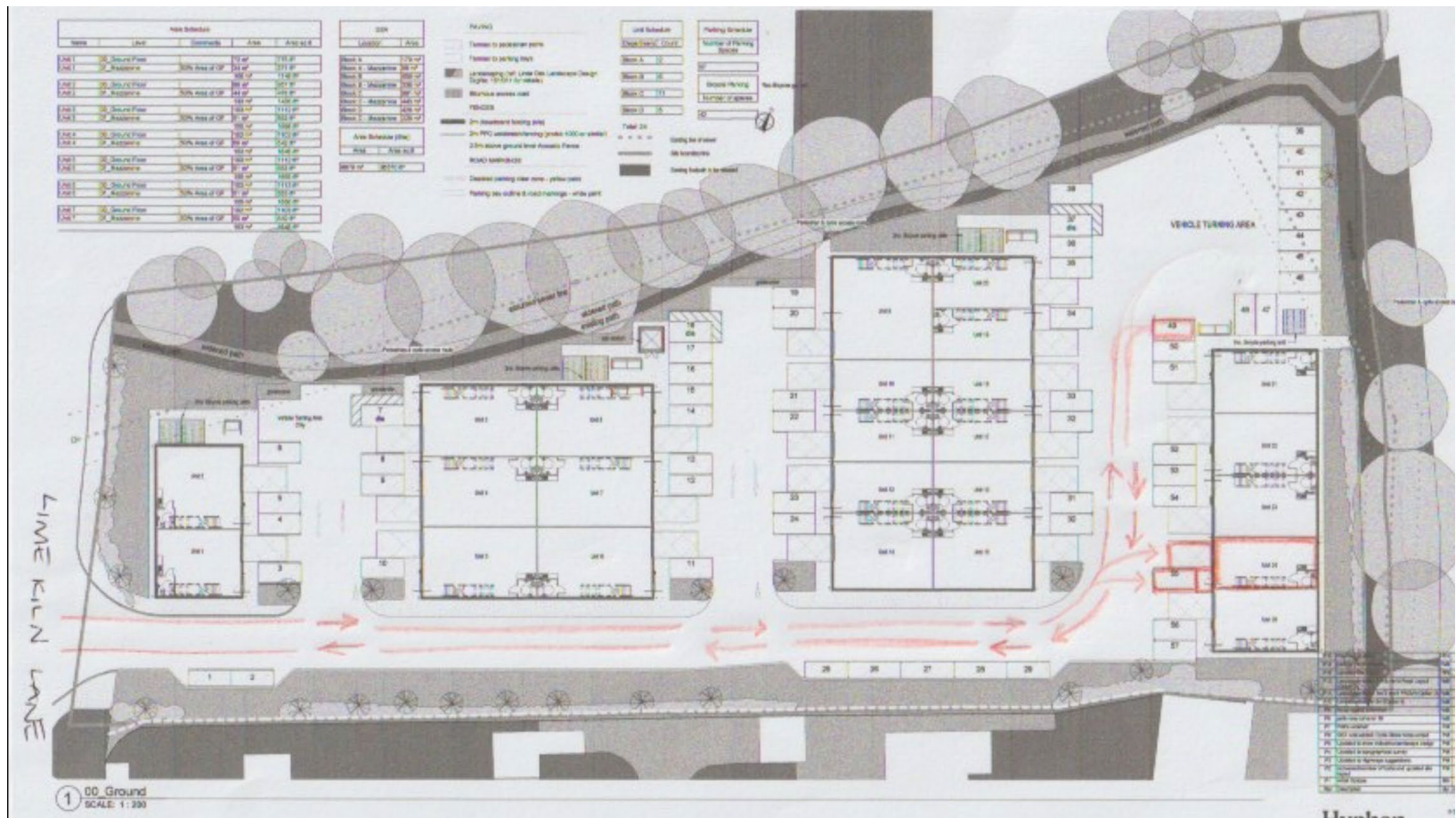
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As Indicated @A2	05/06/18	PM	WB

Workstage	Status
	PLANNING

Hyphen Project No.	Project / Drawing No.	Revision
0289		A-001 P4

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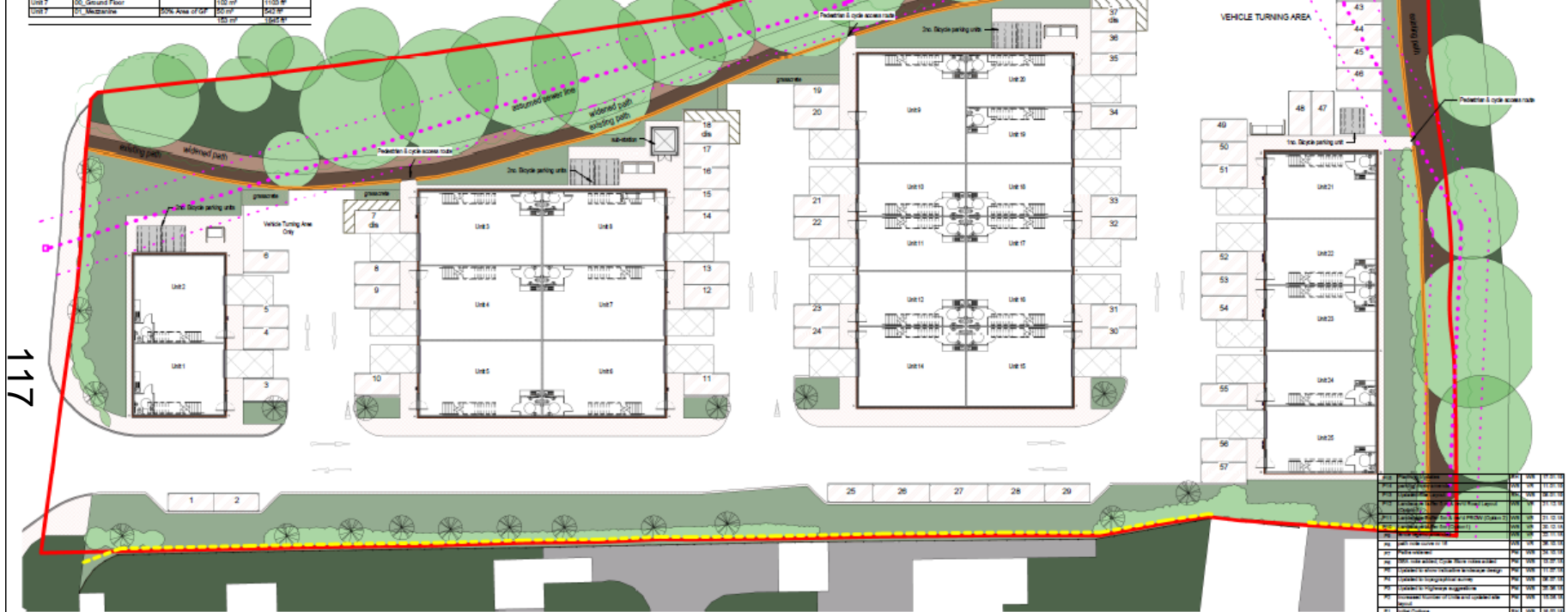


2g 20/10686

Unit #	Level	Comments	Area	Area sq ft
Unit 1	00_Ground Floor	50% Area of GF	100 m ²	1113 m ²
Unit 2	01_Mezzanine	50% Area of GF	100 m ²	1113 m ²
Unit 3	00_Ground Floor	50% Area of GF	100 m ²	1113 m ²
Unit 4	01_Mezzanine	50% Area of GF	100 m ²	1113 m ²
Unit 5	00_Ground Floor	50% Area of GF	100 m ²	1113 m ²
Unit 6	01_Mezzanine	50% Area of GF	100 m ²	1113 m ²
Unit 7	00_Ground Floor	50% Area of GF	100 m ²	1113 m ²
Unit 8	01_Mezzanine	50% Area of GF	100 m ²	1113 m ²

Area Schedule (Site)	Area	Area sq ft
Site Area	10000	107639

- PAVING**
- Tarmac to pedestrian paths
 - Tarmac to parking bays
 - Landscaping (ref: Landscape Design Drawings: 151011 for details)
 - Bituminous access road
- FENCES**
- 2m closeboard fencing (via)
 - 2m PPC wideboard fencing (posts 1000 or similar)
 - 2.5m above ground level Acoustic Fence
- ROAD MARKINGS**
- Disabled parking clear zone - yellow paint
 - Parking bay outline & road markings - white paint
- Unit Schedule**
- | Department | Count |
|------------|-------|
| Block A | 2 |
| Block B | 0 |
| Block C | 11 |
| Block D | 0 |
- Parking Schedule**
- | Department | Count |
|------------|-------|
| Block A | 2 |
| Block B | 0 |
| Block C | 11 |
| Block D | 0 |
- Bicycle Parking**
- | Department | Count |
|------------|-------|
| Block A | 2 |
| Block B | 0 |
| Block C | 11 |
| Block D | 0 |
- Total: 24**
- Dating line of sewer**
- Site boundary line
 - Dating layout to be retained



1 00_Ground
SCALE: 1 : 200

Unit #	Level	Comments	Area	Area sq ft
Unit 9	00_Ground Floor	50% Area of GF	100 m ²	1113 m ²
Unit 10	01_Mezzanine	50% Area of GF	100 m ²	1113 m ²
Unit 11	00_Ground Floor	50% Area of GF	100 m ²	1113 m ²
Unit 12	01_Mezzanine	50% Area of GF	100 m ²	1113 m ²

Unit #	Level	Comments	Area	Area sq ft
Unit 13	00_Ground Floor	50% Area of GF	100 m ²	1113 m ²
Unit 14	01_Mezzanine	50% Area of GF	100 m ²	1113 m ²
Unit 15	00_Ground Floor	50% Area of GF	100 m ²	1113 m ²
Unit 16	01_Mezzanine	50% Area of GF	100 m ²	1113 m ²

Unit #	Level	Comments	Area	Area sq ft
Unit 17	00_Ground Floor	50% Area of GF	100 m ²	1113 m ²
Unit 18	01_Mezzanine	50% Area of GF	100 m ²	1113 m ²
Unit 19	00_Ground Floor	50% Area of GF	100 m ²	1113 m ²
Unit 20	01_Mezzanine	50% Area of GF	100 m ²	1113 m ²

Unit #	Level	Comments	Area	Area sq ft
Unit 21	00_Ground Floor	50% Area of GF	100 m ²	1113 m ²
Unit 22	01_Mezzanine	50% Area of GF	100 m ²	1113 m ²
Unit 23	00_Ground Floor	50% Area of GF	100 m ²	1113 m ²
Unit 24	01_Mezzanine	50% Area of GF	100 m ²	1113 m ²

Unit #	Level	Comments	Area	Area sq ft
Unit 25	00_Ground Floor	50% Area of GF	100 m ²	1113 m ²
Unit 26	01_Mezzanine	50% Area of GF	100 m ²	1113 m ²
Unit 27	00_Ground Floor	50% Area of GF	100 m ²	1113 m ²
Unit 28	01_Mezzanine	50% Area of GF	100 m ²	1113 m ²

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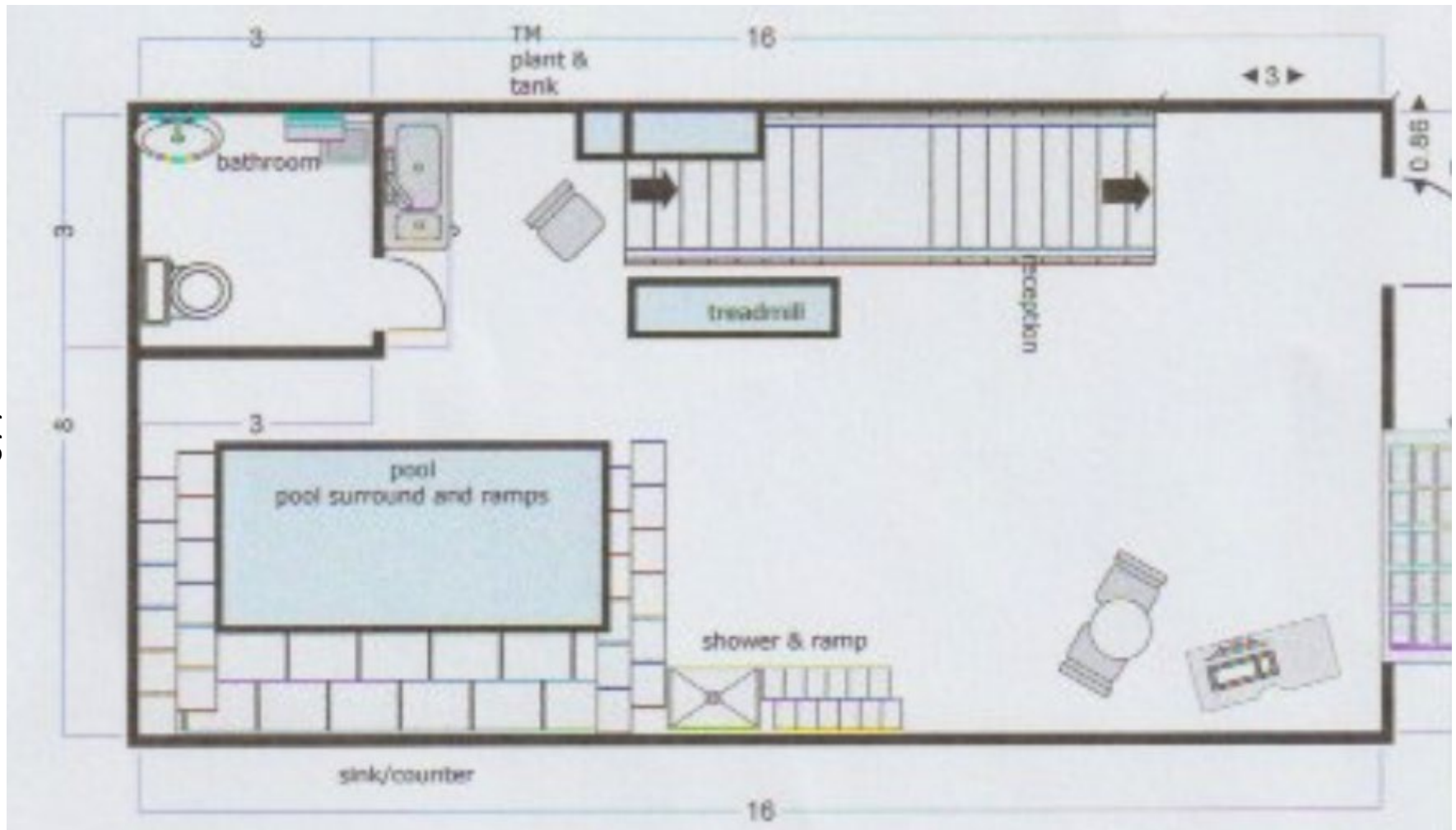
3 Charlotte Street
Newcastle
Westminster, EC2M 3EH
Tel: 020 7626 0000
info@hyphen.co.uk

Glenmore Commercial
Glenmore Faculty

Site Layout

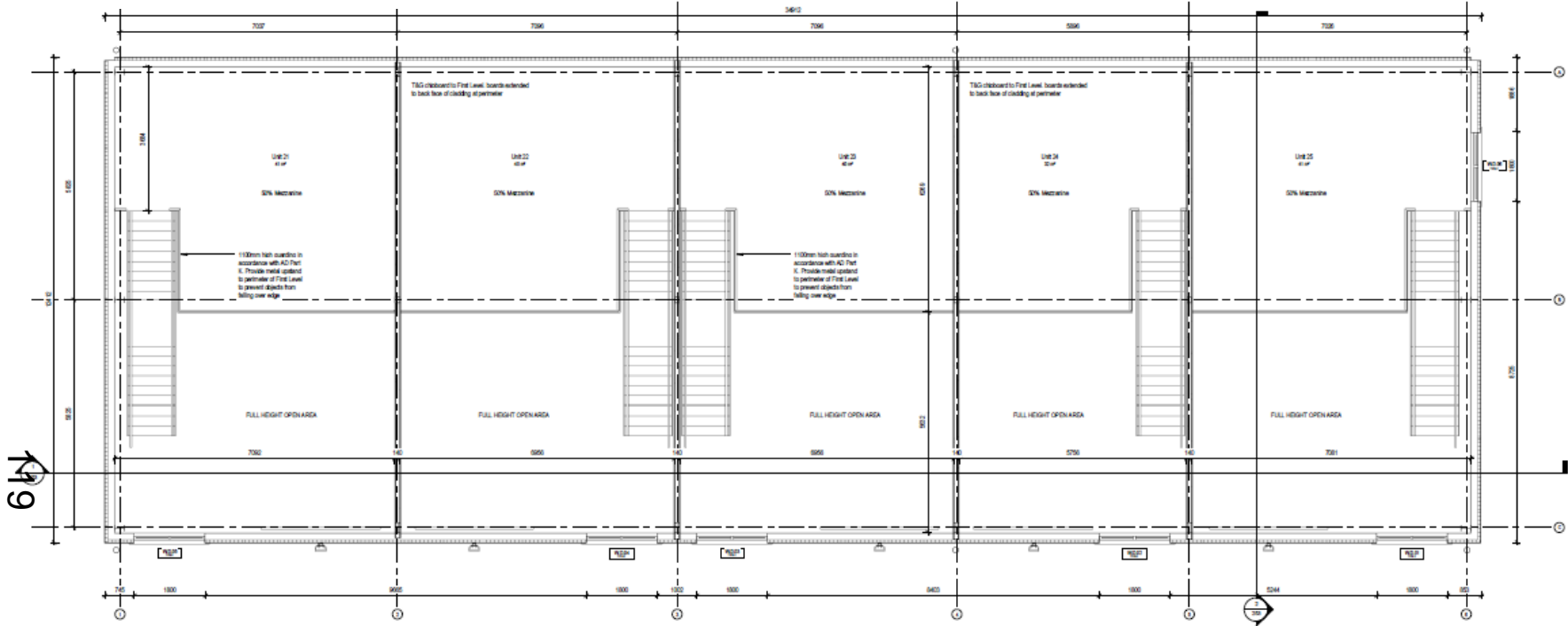
As Issued @ 04/06/2016 PM WB
Planning
6269
A-100P15

2g 20/10686



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2g 20/10686



6/19

1 01 First Floor Level
 SCALE: 1 : 50

G1A Schedule - Block D				
USE	Level	Comments	Area	Area sq ft
USE 21	01_Ground Floor		121 m ²	1314 m ²
USE 21	01_Mezzanine	50% Area of GF	61 m ²	657 m ²
			122 m ²	1313 m ²
USE 22	01_Ground Floor		61 m ²	657 m ²
USE 22	01_Mezzanine	50% Area of GF	31 m ²	328 m ²
			121 m ²	1301 m ²
USE 23	01_Ground Floor		61 m ²	657 m ²
USE 23	01_Mezzanine	50% Area of GF	31 m ²	328 m ²
			121 m ²	1301 m ²
USE 24	01_Ground Floor		61 m ²	657 m ²
USE 24	01_Mezzanine	50% Area of GF	31 m ²	328 m ²
			92 m ²	1000 m ²
USE 25	01_Ground Floor		61 m ²	657 m ²
USE 25	01_Mezzanine	50% Area of GF	31 m ²	328 m ²
			121 m ²	1307 m ²
			554 m ²	6017 m ²

C1	Construction Name	01	01B	20.20.10
	Rev. Description			01B - Final

Hyphen
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 Maple Gardens
 Winchester, SO20 6BT
 +44 1865 409300
 info@hyphen.co.uk

Client: **Glenmore Commercial**

Project: **Lime Kiln Lane, Fawley**

Drawn: **First Floor Level - Block D**

Scale: **1: 50 @A1** Date: **19.10.19** Rev: **001** Author: **WJB**

Project Phase: **CONSTRUCTION**

Sheet Number: **6709** of **A-141** C1

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2 Block Plan
SCALE: 1 : 500



1 Location Plan
SCALE: 1 : 1250



P4	Planning Updates	RH	WB	17.01.18
P3	Updated to Highways suggestions	PM	WB	25.06.18
P2	Increased number of Units and updated site layout	PM	WB	15.06.18
P1	Initial Options	RH	WB	16.02.18
Rev	Description	By	Check	Date

Hyphen

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Winchester, SO23 8SR
+44 1962 835500
info@hyphen.co.uk

Client
Glenmore Commercial

Project
Glenmore Fawley

Drawing
Location & Block Plan

Scale	Date	Author	Checked
As indicated @A2	06/06/18	PM	WB
Workstage	Status	PLANNING	

Hyphen Project No.	Project Drawing No.	Revision
6269		A-001 P4

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2g 20/10686



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Unit 24 set within terrace

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November 2020

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13 ORCHARD WAY, DIBDEN PURLIEU SO45
4AP

124

Schedule 2h

App No 20/11005

2h 20/11005



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13 Orchard Way
Dibden Purlieu
SO45 4AP
20/11005

Scale 1:1250

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Red Line plan



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SO45 4AP
20/11005

Scale 1:1250

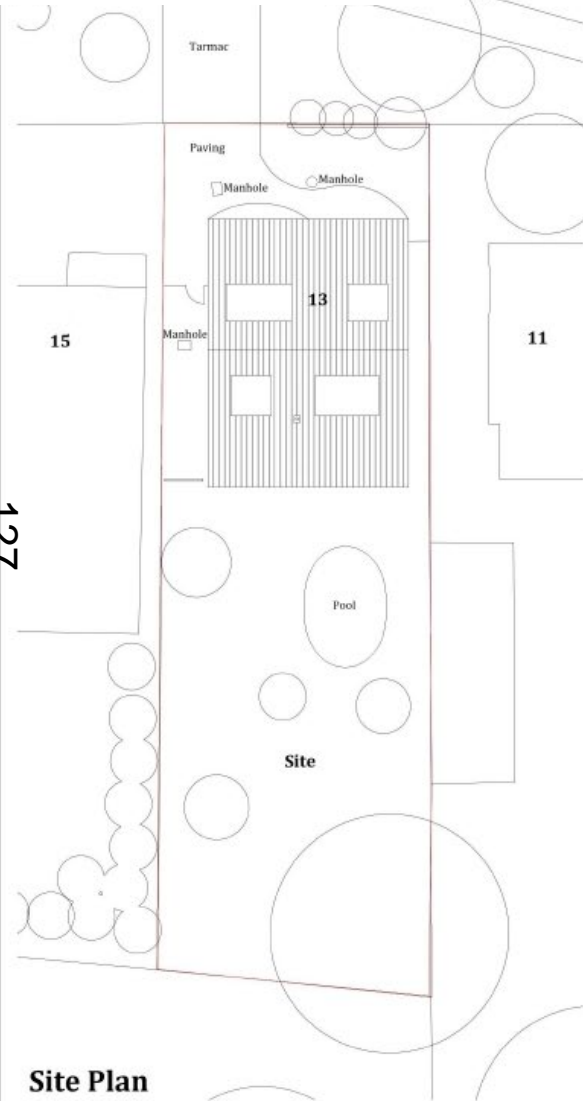
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2h 20/11005

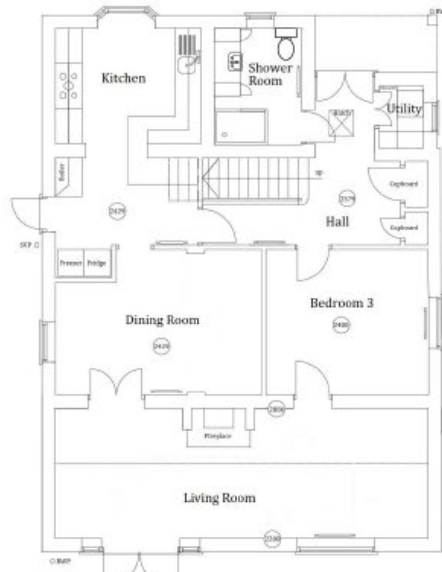
Orchard Way



127

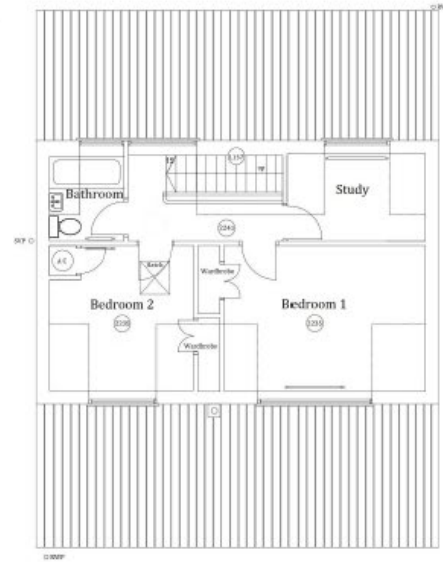


Site Plan



Ground Floor Plan

Scale 1:100



First Floor Plan



Rear Elevation



Left Side Elevation

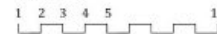


Right Side Elevation



Front Elevation

Scale 1:200



Existing Site Plan

Drawing Status

PLANNING

Mr. James Hartley-Binns
Sanctuary Cottage
Orchard Way
Dihden Parfies
Hampshire
SO45 4AP

Scale
1:100 / 1:200 / 1:1250
Date
14.09.2020

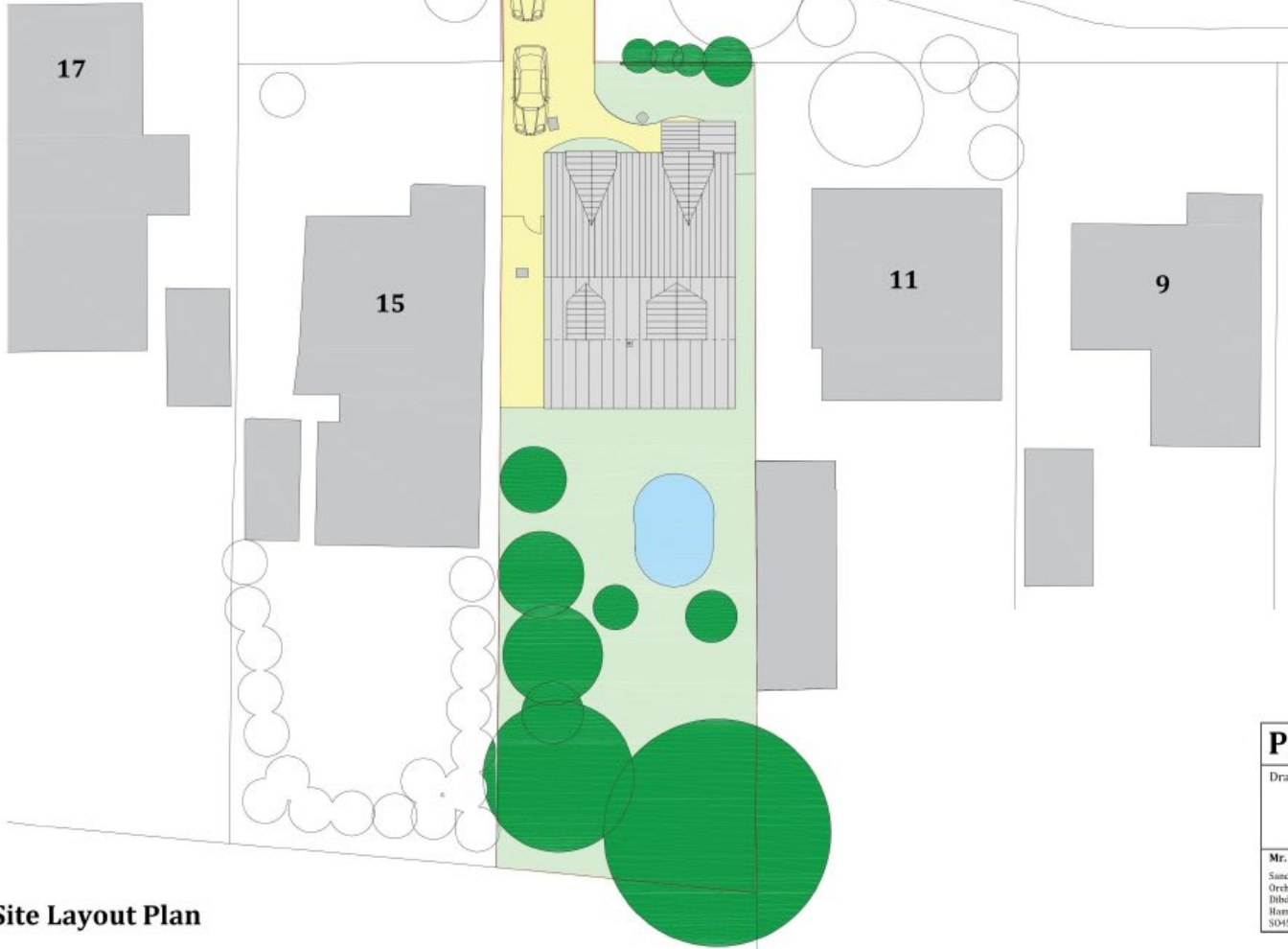
1 OF 3

2h 20/11005

Orchard Way



128



Scale 1:200



Proposed Site Plan 

Drawing Status
PLANNING

<p>Mr. James Hartley-Binns Sanctuary Cottage Orchard Way Dibden Parley Hampshire SO45 4AP</p>	<p>Scale 1:200 Date 14.09.2020</p>
-------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------

Site Layout Plan



Front Elevation



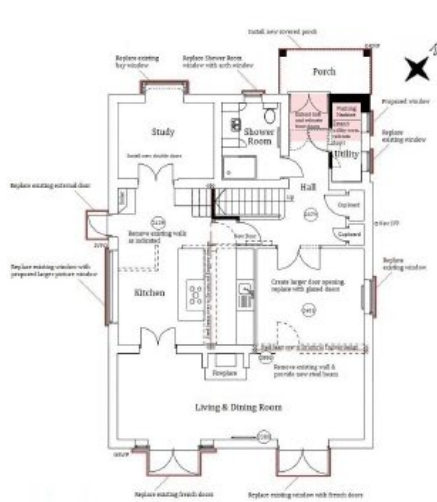
Right Side Elevation



Rear Elevation

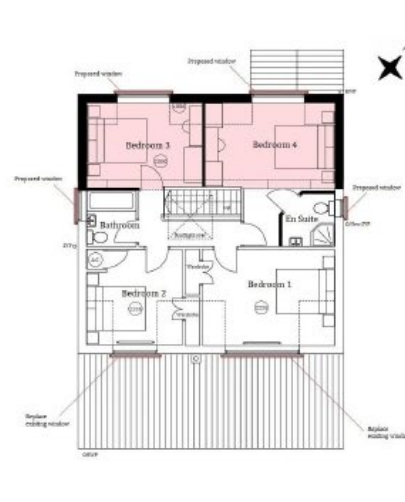


Left Side Elevation



Ground Floor Plan

SCALE 1:100
0 1 2 3 4 5M



First Floor Plan



Proposed Exterior & Interior

Drawing Status

PLANNING

2 OF 3

Mr. James Hartley-Binns
Sanctuary Cottage
Orchard Way
Dibden Purlieu
Hampshire
SO45 4AP

Scale
1:100 / 1:200
Date
14.09.2020

NOTES

Purpose of the build: to gain two new bedrooms, one with an en suite, by extending over a previous ground floor front extension, thus enabling the opportunity to better utilise the existing ground floor area through a series of alterations.

Material Specification

- Porch:** Build new covered porch out of a combination of wood (painted white) and brick. Tiles to match front roof.
- Front Roof:** Brown concrete interlocking tiles to match existing Ludlow, one which can be placed at the required 15 degree pitch. Install rooflight in landing area.
- Rear Roof:** Build two new gable roofs above existing bedrooms, using Ludlow tiles reclaimed from the front of the property.
- Walls:** White render to match existing. Add brick slades up to a height of 1100mm at the front and rear of property.
- Doors & Windows:** White (exterior and interior) uPVC 'Georgian Variants' windows throughout the property with antique brass monkeytail handles. Front door with glass surround.
- Gutters & Downpipes:** White gutters and downpipes to match.
- Hallway & Utility:** Extend hallway and utility room into the outside area currently used as a covered porch.
- En Suite:** Installation of shower room with new Soil Vent Pipe (SVP).
- Living & Dining Room:** Remove existing wall and install hidden steel beam.
- Kitchen:** Remove existing wall and install hidden steel beams.

KEY

- Floor area gained through extension
- Roof

HISTORY

- Ground floor front extension granted September 1997
- Ground floor rear extension granted October 2005

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2h 20/11005

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2h 20/11005

131



2h 20/11005

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2h 20/11005

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2h 20/11005



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November 2020

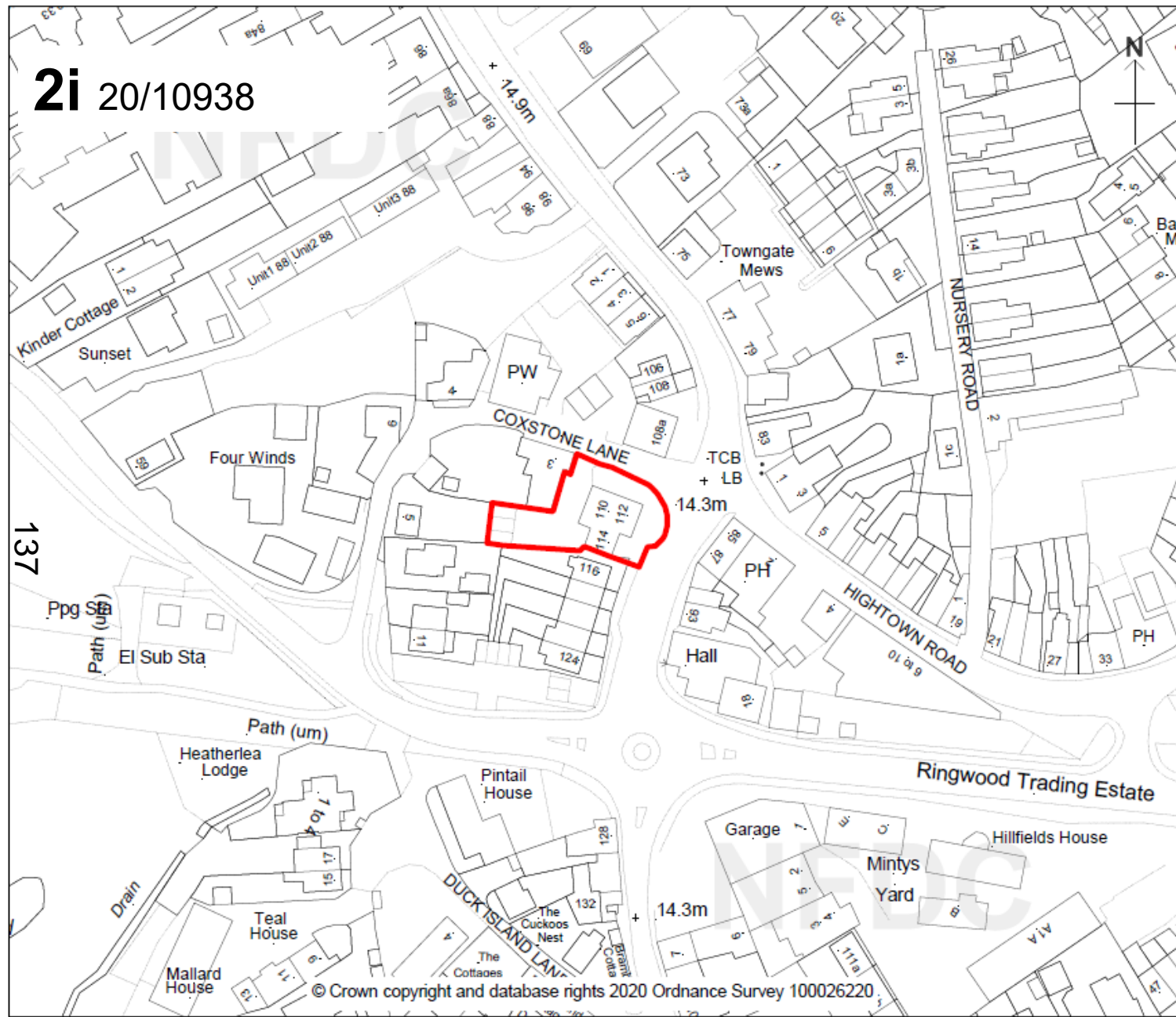
110 CHRISTCHURCH ROAD, RINGWOOD
BH24 1DP

136

Schedule 2i

App No 20/10938

2i 20/10938



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Ringwood BH24 1DP

20/10938

Scale 1:1250

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November 2020

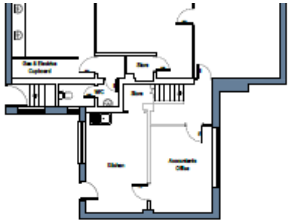
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Ringwood BH24 1DP

20/10938

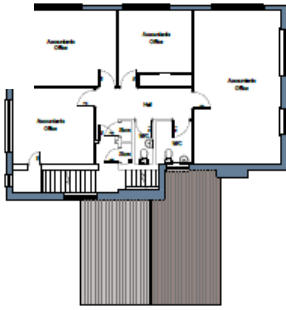
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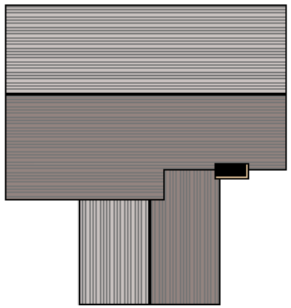
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Existing Ground Floor Plan
scale 1:100



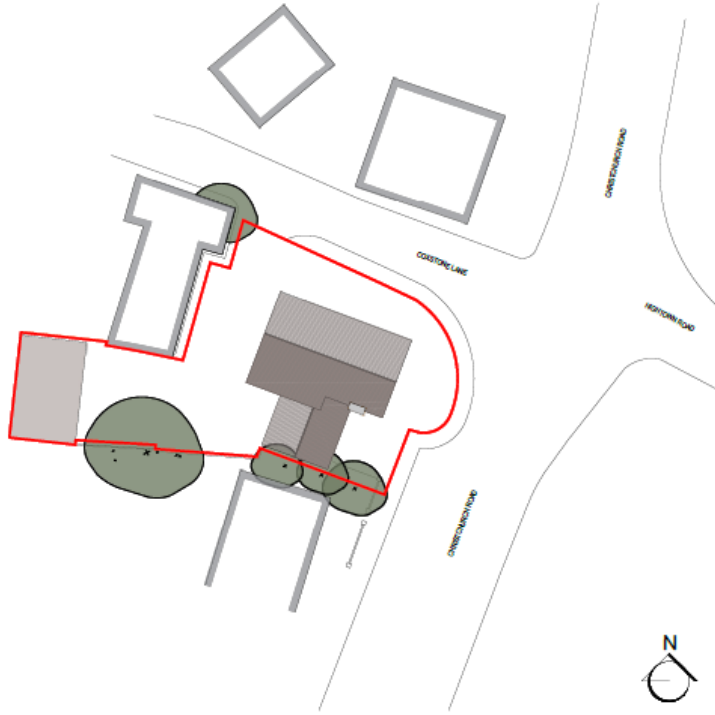
Existing First Floor Plan
scale 1:100



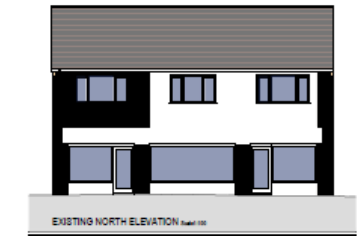
Existing Roof Plan
scale 1:100



Existing Garage Floor Plan
scale 1:100



Existing Site Plan
scale 1:200



EXISTING NORTH ELEVATION scale 1:100



EXISTING EAST ELEVATION scale 1:100



EXISTING SOUTH ELEVATION scale 1:100



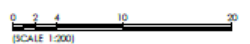
EXISTING WEST ELEVATION scale 1:100

Existing Elevations
scale 1:100

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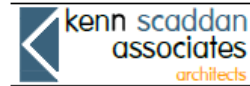


Site Location Plan
scale 1:200



A	10/11/21	100	100	100
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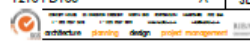
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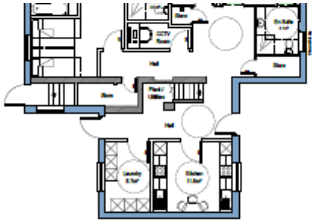
PROJECT:
110 - 114 Christchurch Road,
Ringwood,
BH24 1DP

DRAWING TITLE:
Existing Plans & Elevations

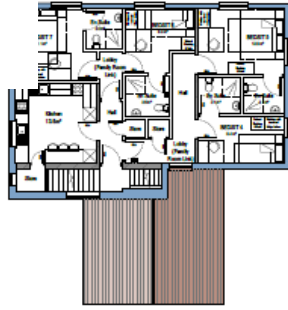
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PROJECT NO. / DRAWING NO.:	REVISION:
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	SD



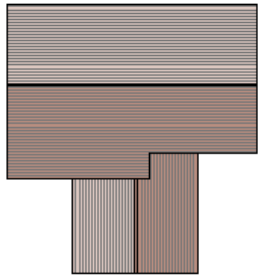
2i 20/10938



Proposed Ground Floor Plan
scale 1:100



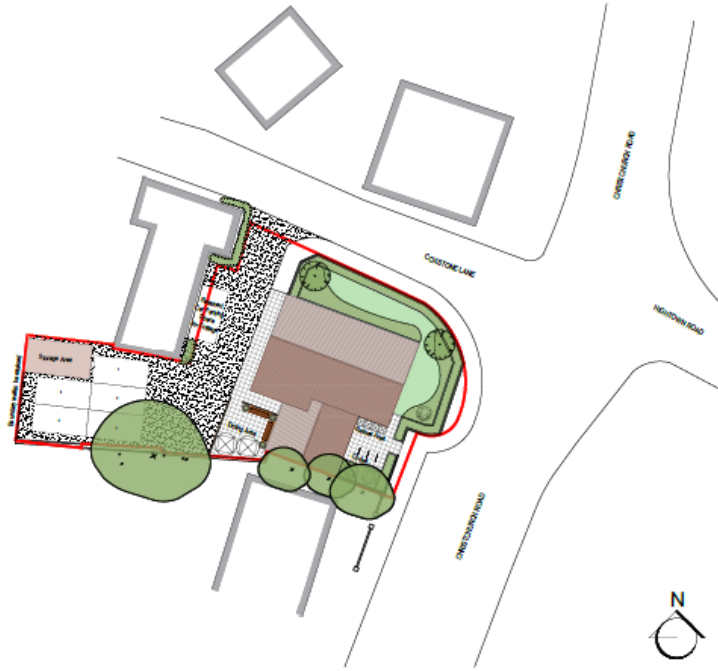
Proposed First Floor Plan
scale 1:100



Proposed Roof Plan
scale 1:100



Proposed Garage Floor Plan
scale 1:100



Proposed Site Plan
scale 1:200



Proposed North Elevation
scale 1:100



Proposed East Elevation
scale 1:100



Proposed South Elevation
scale 1:100



Proposed West Elevation
scale 1:100

Proposed Elevations
scale 1:100

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- KEY:
- To High Street
 - Back Yard
 - Street Footway

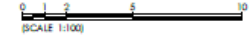
Schedule of Accommodation

2 No. Single Person Beds
1 No. 4 Person Family Bed
1 No. DPU Bed
3 No. 2 Person Beds

TOTAL: 7 Beds

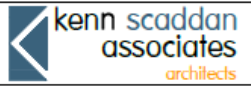
3 No. Parking Spaces

TOTAL: 3 Parking Spaces



NO.	DATE	DESCRIPTION	BY	CHK BY
A	10.02.20	Plot Issue	SD	SD
B	19.02.20	Issue for comment	SD	SD
C	11.04.20	Issue amendments to pre comments	SD	SD
D	11.04.20	Landscaping amended	SD	SD
E	24.06.20	Parking Amended	SD	SD
F	07.08.20	Issue amendments to table	SD	SD
G	01.10.20	Final submitted & done, boundary wall deleted	SD	SD

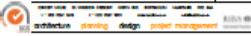
Client: NFDG



PROJECT: 110 - 114 Christchurch Road, Ringwood, BH24 1DP

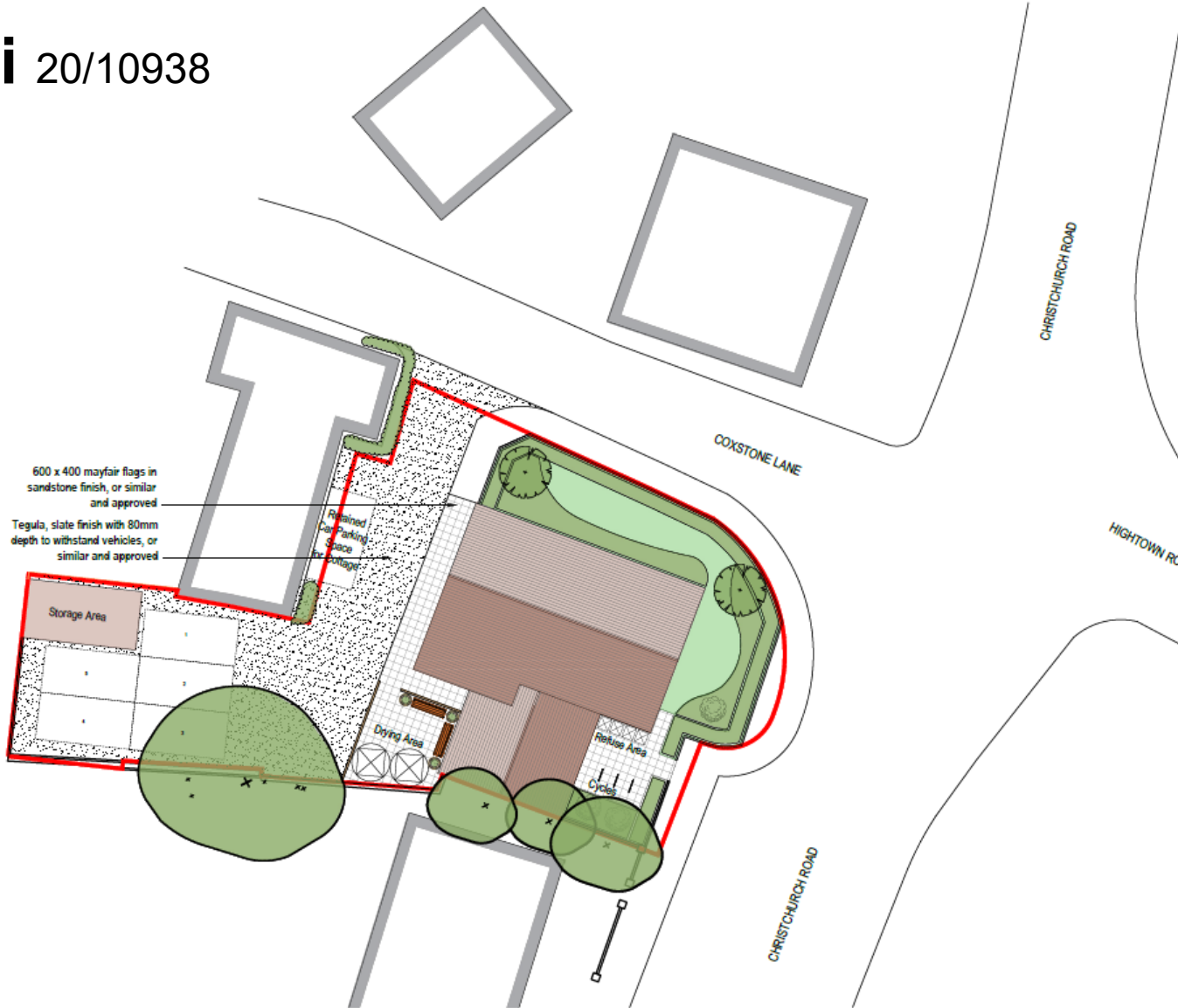
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REVISION NO.	REVISION	SCALE
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2	1210 PD101	SD

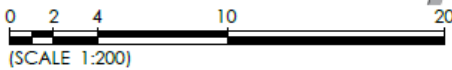


138 Proposed





600 x 400 mayfair flags in sandstone finish, or similar and approved
 Tegula, slate finish with 80mm depth to withstand vehicles, or similar and approved

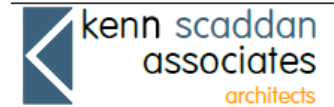


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 2. This drawing has been produced as a guide, and is subject to further detailed information being provided, including but not limited to a full topographical survey, service enquiries and an arboriculture study.

REV	DATE	DESCRIPTION	REV BY	CHK BY
A	18.05.20	Rev Issue	SD	LD
S	06.10.20	Hardscaping specified	SD	LD

CLIENT

NFDC



PROJECT
 110 - 114 Christchurch Road,
 Ringwood,
 BH24 1DP

DRAWING TITLE
 Indicative Landscaping Plans

DRAWING STATUS	SCALE
FEASIBILITY	1:200 A3
PROJECT NO. DRAWING NO.	REVISION DRAWN BY
1210 PD 102	B SD





Existing Elevations
scale 1:100

142



Proposed Elevations

2i 20/10



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141

2i 20/10938

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2i 20/10938



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2i 20/10938



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2i 20/10938

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2i 20/10938



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2i 20/10938

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Planning Committee

November 2020

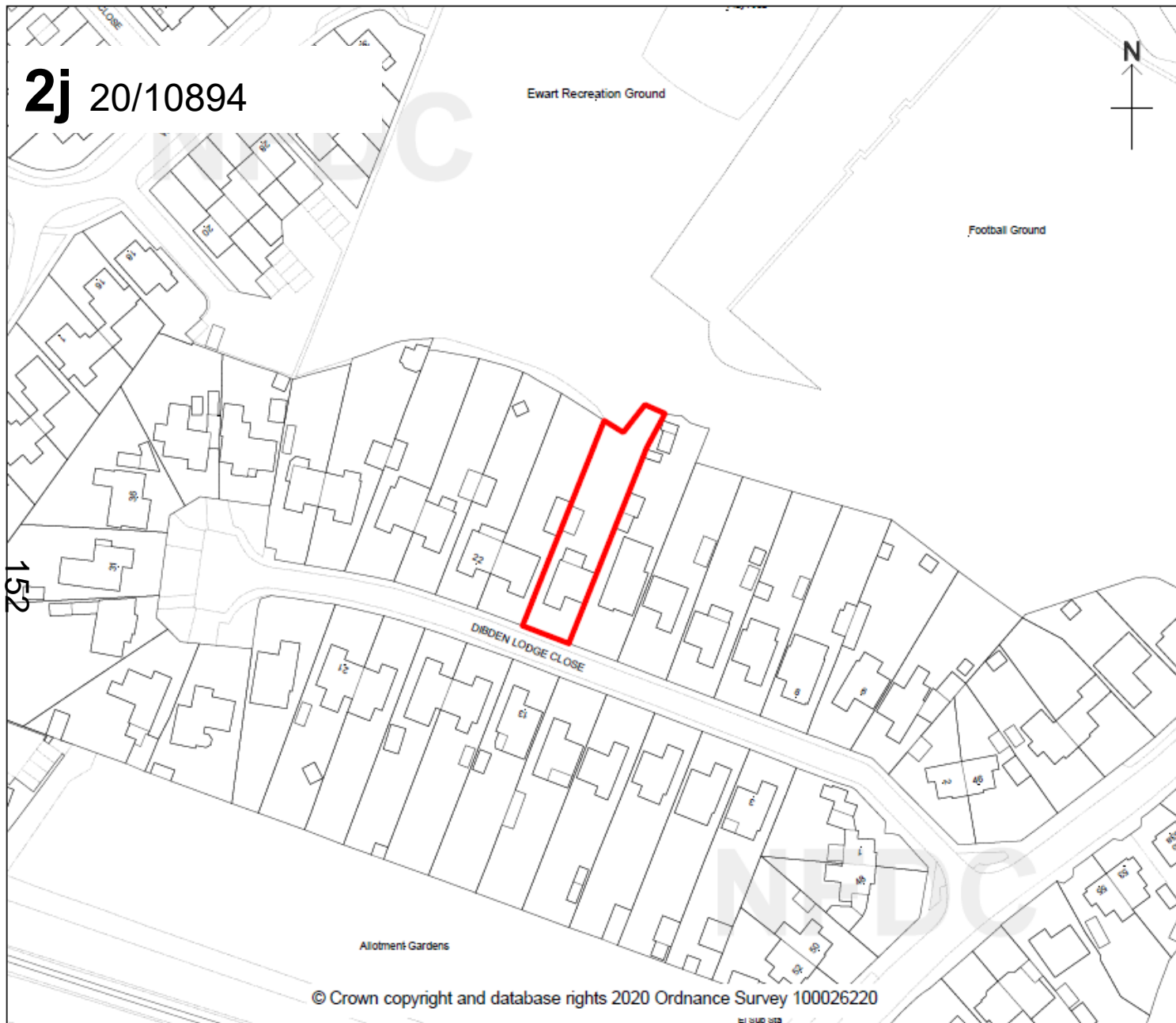
150

151
HYTHE KNOCK, 18 DIBDEN LODGE CLOSE,
HYTHE SO45 6AY

Schedule 2j

App No 20/10894

2j 20/10894



New Forest
DISTRICT COUNCIL

Tel: 023 8028 5000
www.newforest.gov.uk

Claire Upton-Brown
Chief Planning Officer
Planning
New Forest District Council
Appletree Court
Lyndhurst
SO43 7PA

PLANNING COMMITTEE

November 2020

Hythe Knock
18 Dibden Lodge Close
Hythe SO45 6AY
20/10894

Scale 1:1250

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51 300 302

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Red Line plan



2j 20/10894



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November 2020

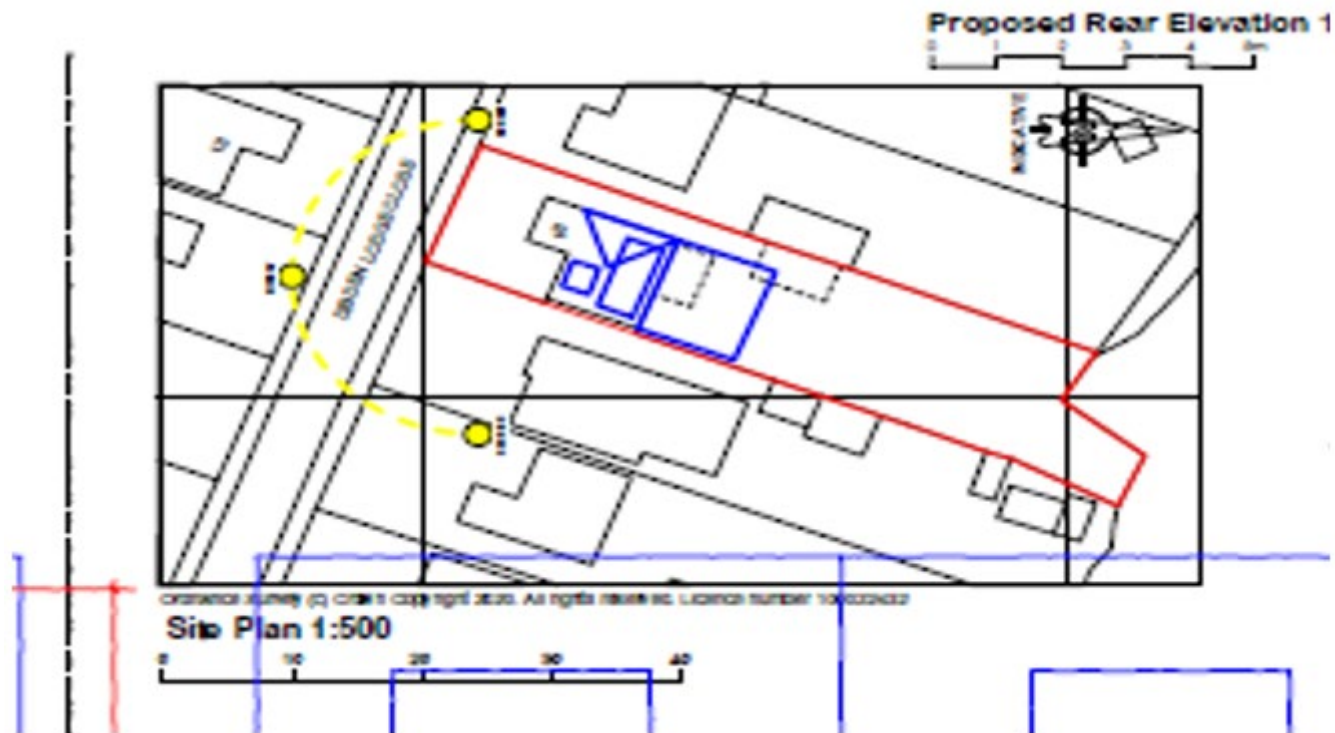
Hythe Knock
18 Didden Lodge Close
Hythe SO45 6AY
20/10894

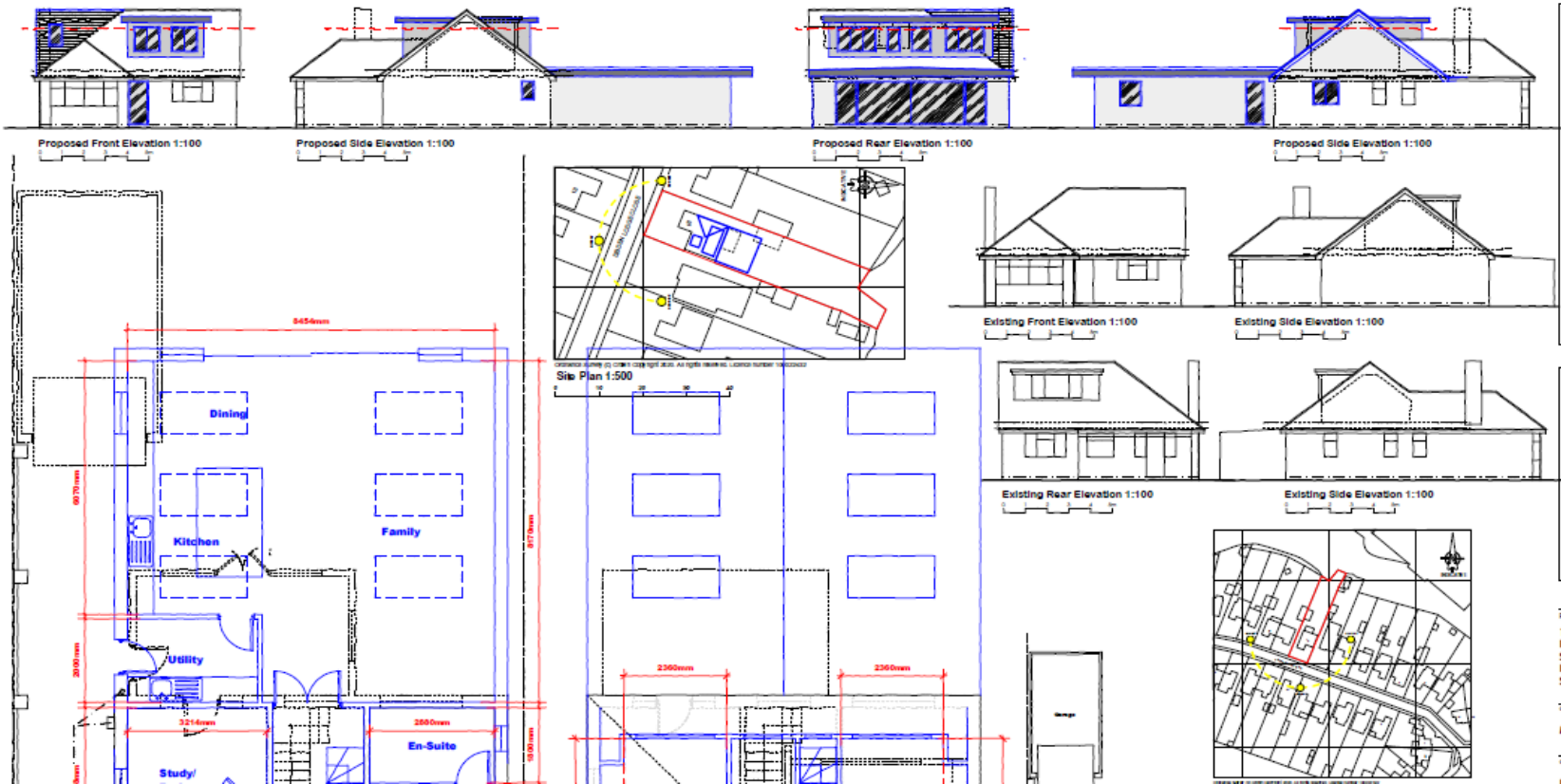
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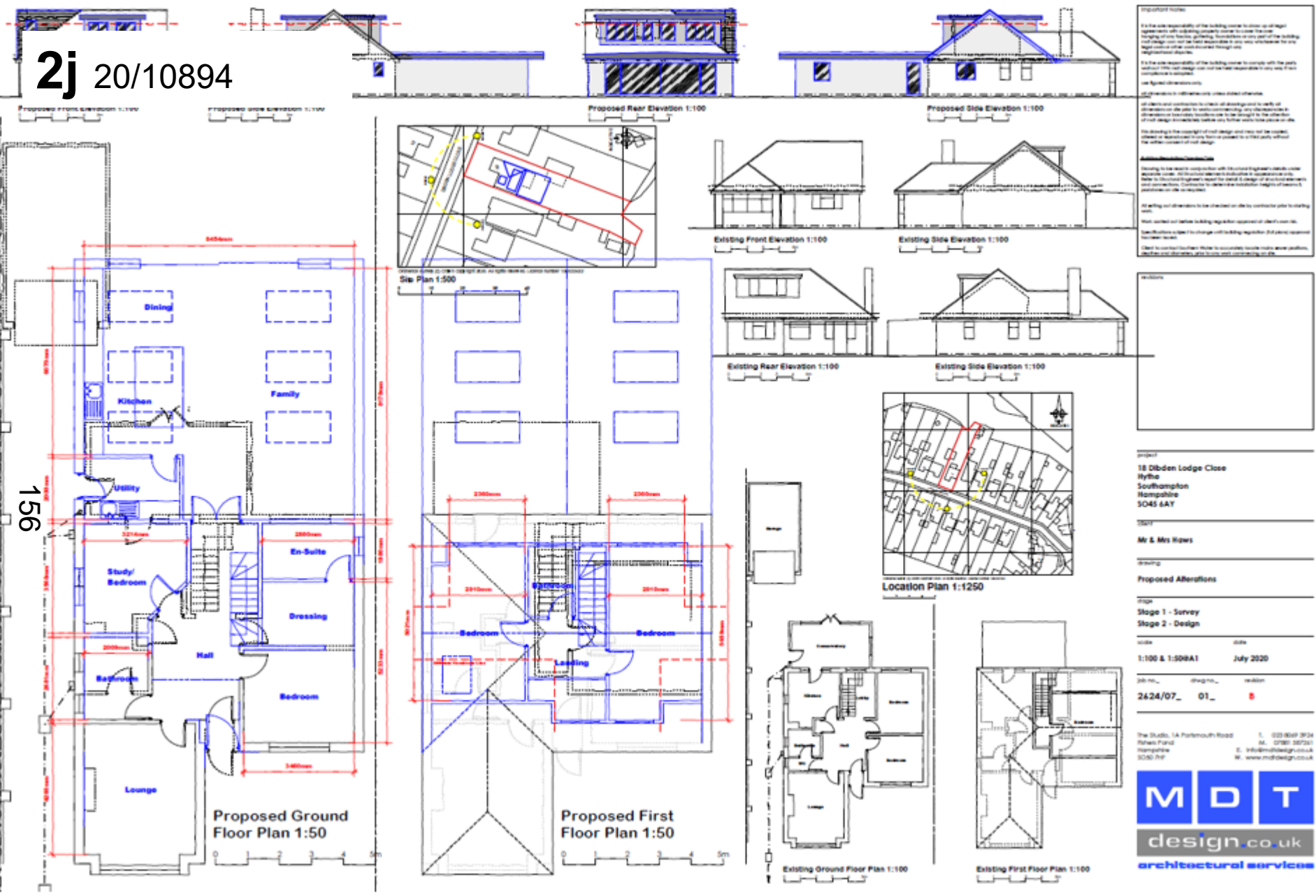
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Important notes

1. It is the sole responsibility of the building owner to check all relevant legislation with regard to proposed alterations and to ensure that the building is fit for use. The building owner is responsible for ensuring that the building is fit for use. The building owner is responsible for ensuring that the building is fit for use.

2. It is the sole responsibility of the building owner to comply with the party wall etc act 1994 and to ensure that the building is fit for use.

3. All alterations to the building must be carried out in accordance with the building regulations.

4. The building owner is responsible for ensuring that the building is fit for use.

5. The building owner is responsible for ensuring that the building is fit for use.

6. The building owner is responsible for ensuring that the building is fit for use.

7. The building owner is responsible for ensuring that the building is fit for use.

8. The building owner is responsible for ensuring that the building is fit for use.

9. The building owner is responsible for ensuring that the building is fit for use.

10. The building owner is responsible for ensuring that the building is fit for use.

Additional Information/Comments

1. The building owner is responsible for ensuring that the building is fit for use.

2. The building owner is responsible for ensuring that the building is fit for use.

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9. The building owner is responsible for ensuring that the building is fit for use.

10. The building owner is responsible for ensuring that the building is fit for use.

Project

18 Didden Lodge Close
Hythe
Southampton
Hampshire
SO45 6AT

Client

Mr & Mrs Rows

Drawing

Proposed Alterations

Stage

Stage 1 - Survey
Stage 2 - Design

Date

1:100 & 1:500A1 July 2020

Rev.

2624/07_ 01_ 8

The Studio, 1A Portsmouth Road
Petersfield
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Planning Committee

November 2020

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PLANNING COMMITTEE – 11 NOVEMBER 2020

COMMITTEE UPDATES

Item 2e: Woodberry Day Nursery, 1 Rollestone Road, Holbury, Fawley

(Application: 20/10978)

Pages: 73-80

3 PROPOSED DEVELOPMENT

Full planning permission is sought for 2 single storey extensions to the existing building, creating **a total of 40.24sqm** of additional floorspace.

Item 2f: Brockwood, 42 Barton Common Lane, Barton-On-Sea, New Milton

(Application: 20/10994)

Pages: 81-100

2: SITE DESCRIPTION

Para 2. Notice **has** been served on New Milton Town Council.

10. REPRESENTATIONS

COMMENT FROM 40 BARTON COMMON LANE

- Disappointed that issues about developer contributions towards the Common, access maintenance and future protection have been ignored.
- New Milton Town Council do not have the funds to correct the damage created during construction process.
- Would welcome a visit by Council members and officers prior to the committee meeting.
- Need to provide funding to protect environmental impacts of the development in S106.
- Nitrates mitigation needs to be secured.

COMMENT FROM 46 BARTON COMMON LANE

- Concerns about foul drainage system and this should be agreed prior to any construction work.
- Upkeep of the lane leading to the site during and after construction need to be secured.
- Concerns about the safety of walkers and residents in the immediate vicinity both during and after construction.
- The inability to pass another vehicle on the lower end of the track and at the junction with Milford Road, which will cause dangerous reversing manoeuvres emerging from and to Barton Common Lane. It is already very dangerous due to speeding along Milford Road. The 40 limit is rarely adhered to.

RECOMMENDATION 13:

ADDITIONAL CONDITION relating to Construction of surfaces within Root Protection area.

No operations shall commence on site in connection with the development hereby approved (including demolition works, fires, soil moving, temporary access construction and/or widening

or any operations involving the use of motorised vehicles or construction machinery) until the detailed design and construction method statement of vehicular drives, parking areas and other hard surfacing within the root protection area (as defined by BS5837:2012) has been submitted in writing and approved by the Local Planning Authority.

The design and construction must:

- a) Be in accordance with the recommendations of BS5837:2012.
- b) Include details of existing ground levels, proposed levels and depth of excavation.
- c) Include details of the arrangements for the implementation, supervision and monitoring of works

Reason: To safeguard trees and natural features which are important to the visual amenities of the area and in accordance with Policy ENV3 and ENV4 of the Local Plan Part 1 Planning Strategy for the New Forest District outside of the National Park.

**Item 2g: Unit 24, Glenmore Business Park, Lime Kiln Lane, Holbury, Fawley
(Application 20/10686)
Pages 101-106)**

Revised plan has been published to show the extent of the planning application site within Glenmore Business Park.

**Item 2i: 110 Christchurch Road, Ringwood (Application: 20/10938)
Pages: 113-124**

14. RECOMMENDATION

Amend conditions as follows

4. Prior to undertaking any works to the external areas of the site, the following details shall be submitted to and approved in writing with the Local Planning Authority:

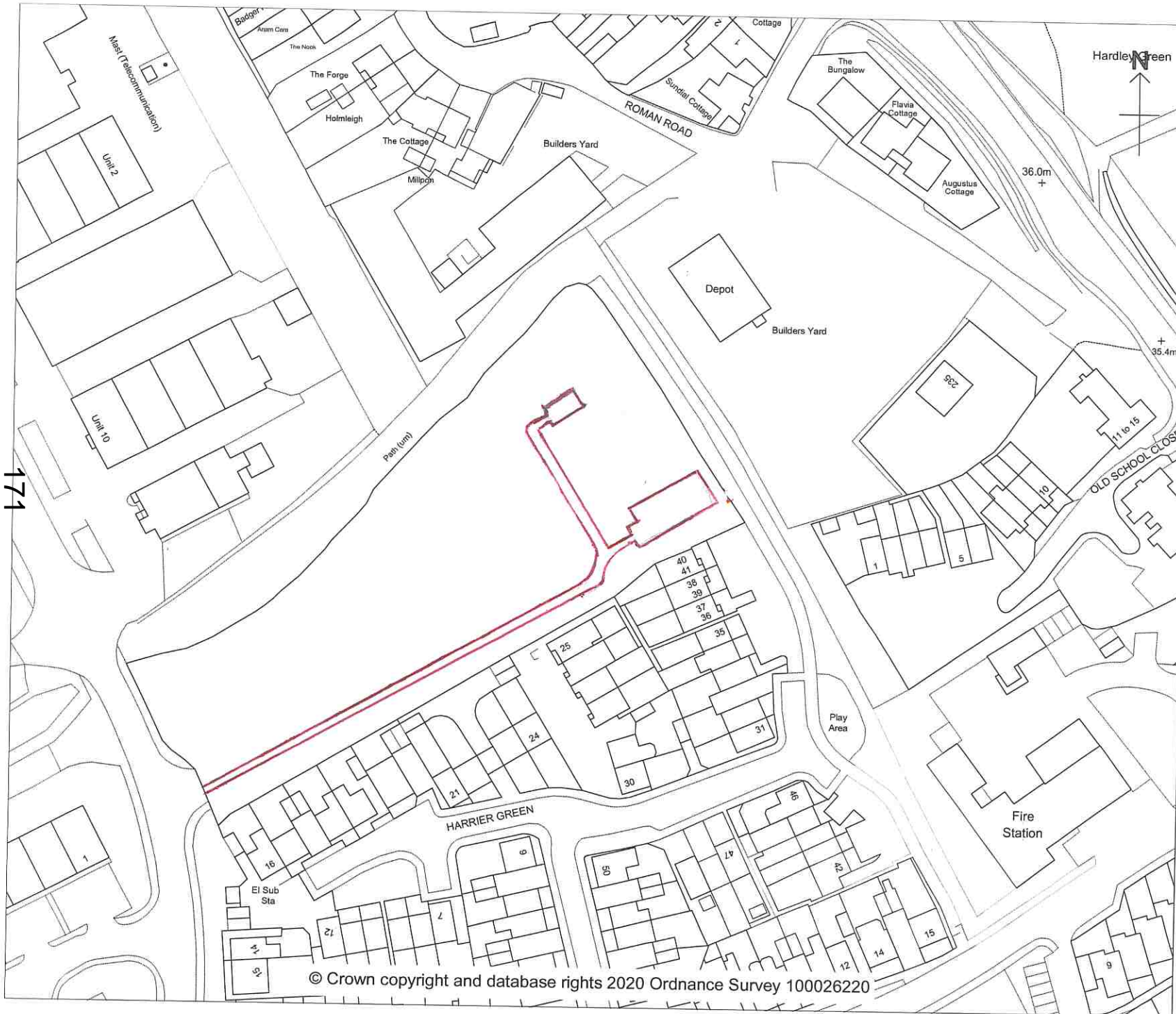
- a. a specification for new trees to be planted (species, size, spacing and location);
- b. details of boundary treatments**
- c. details of biodiversity enhancements;
- d. a method and programme for the implementation of the approved landscaping scheme and the means to provide for its future maintenance.

The scheme shall be implemented only in accordance with those details prior to first occupation of the residential units hereby approved and thereafter retained.

Reason: To ensure that the development takes place in an appropriate way and biodiversity enhancements are secured to comply with Policies ENV1, ENV3 and ENV4 of the Local Plan Review 2016-2036 Part One: Planning Strategy for the New Forest District outside of the National Park.

6. The windows and door hereby approved shall be constructed **in** timber and thereafter retained as such.

Reason: Due to the location of the site in the Ringwood Conservation Area and in the setting of listed buildings in accordance with Policy DM1 of the Local Plan Part 2 for the New Forest outside of the National Park



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PLANNING COMMITTEE

November 2020

Unit 24 Glenmore Business Park
Lime Kiln Lane
Holbury Fawley SO45 2AR
20/10686

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the internet, it will not be to
scale.

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